ASSESSORS:

MAP 71, LOT 14

REFERENCES:

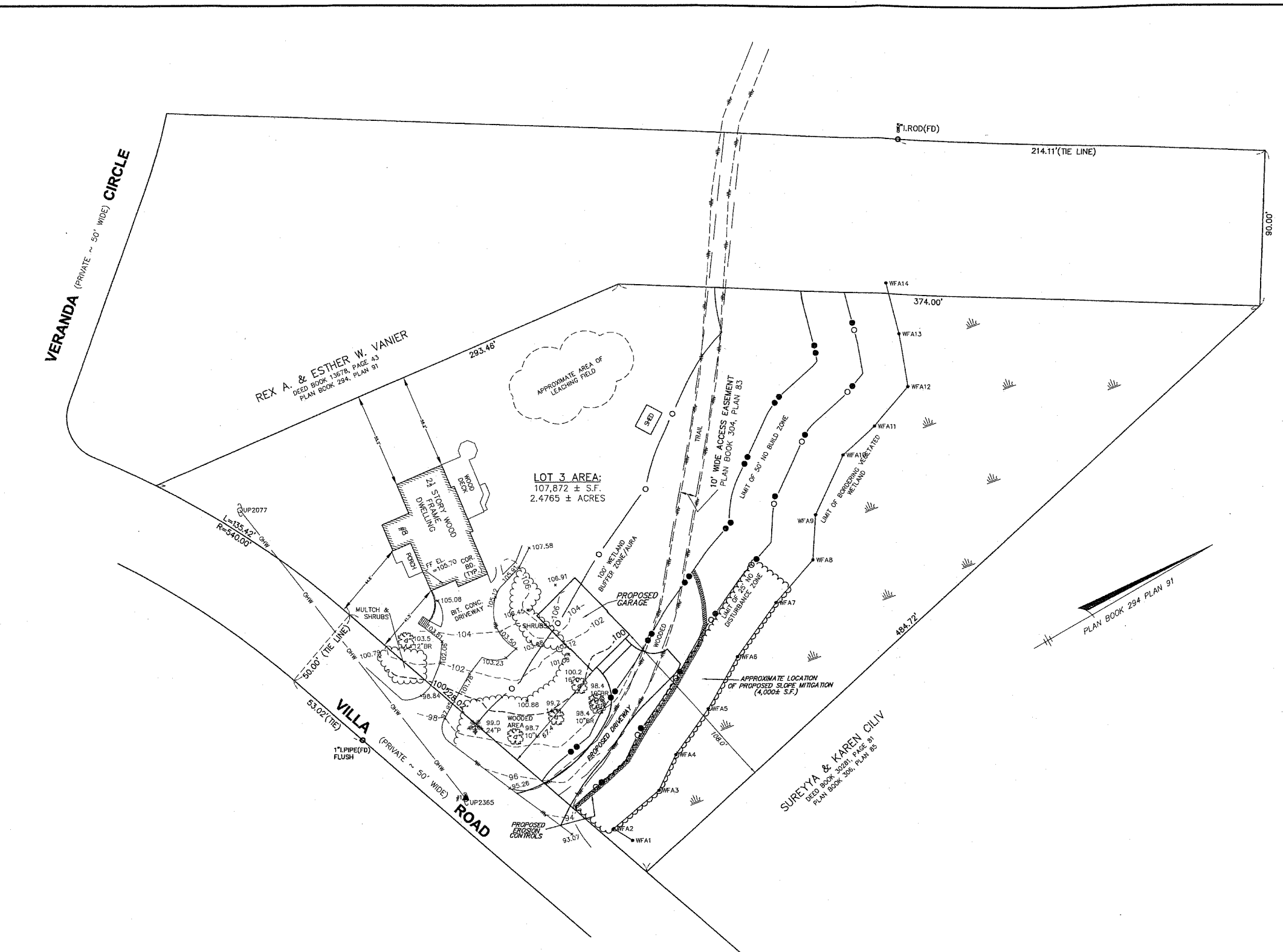DEED BOOK 33623, PAGE 288
PLAN BOOK 294 PLAN 91

NOTES:

1) ELEVATIONS SHOWN HEREON ARE BASED ON AN ASSUMED DATUM

2) LIMITS OF BORDERING VEGETATED WETLANDS SHOWN HEREON WERE DELINEATED BY HANCOCK ASSOCIATES ON 8/13/18 AND LOCATED BY FIELD SURVEY

3) UTILITIES SHOWN HEREON FROM FIELD LOCATIONS OF SURFACE STRUCTURES. NO UNDERGROUND UTILITIES WERE INCLUDED AS PART OF THIS SURVEY. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 811 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.

LEGEND

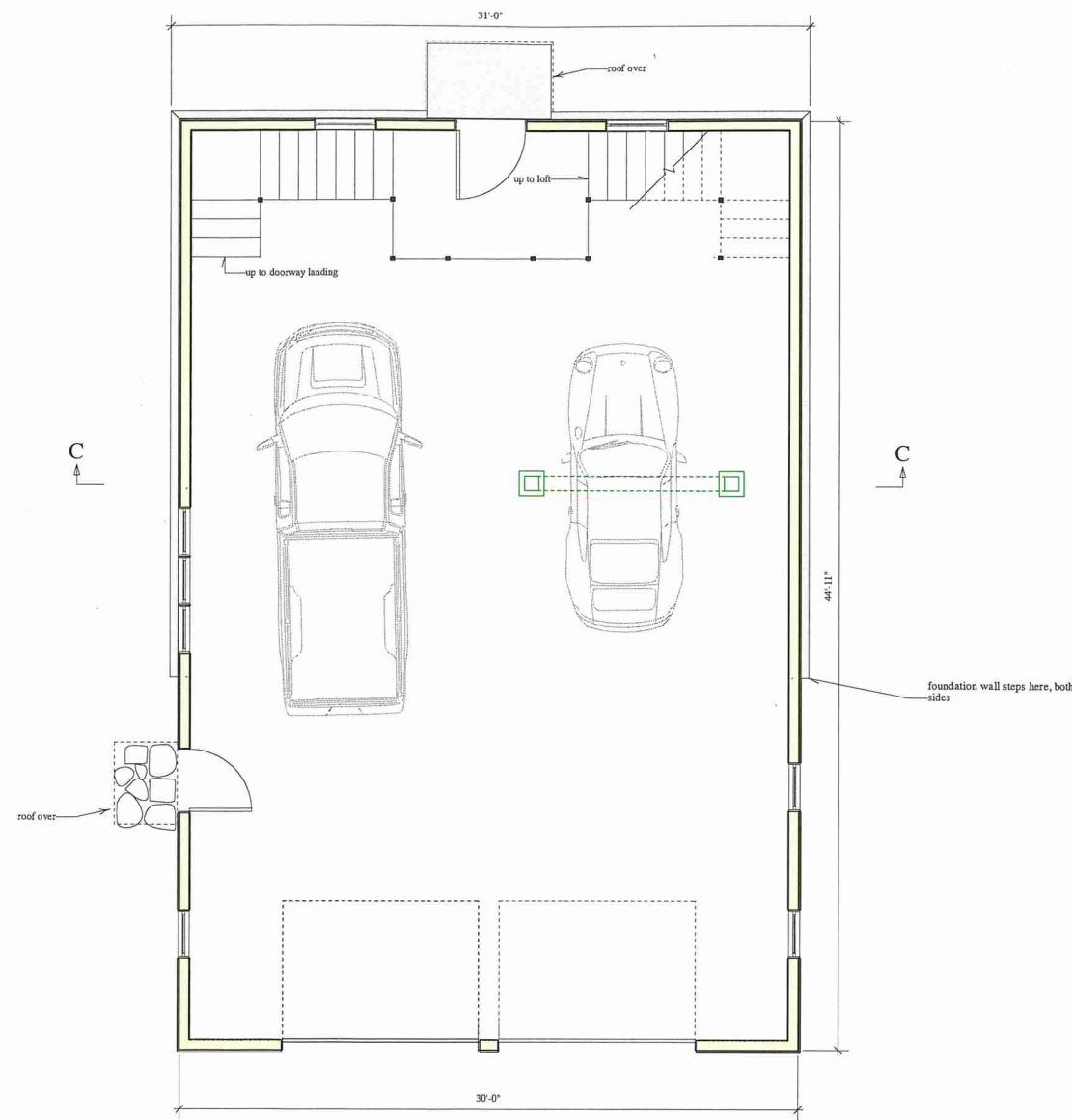|		
× 100.7		SPOT ELEVATION
93.7 12"M		PROMINENT DECIDUOUS TREE WITH ELEVATION, SIZE AND SPECIES
96.2 18"P		PROMINENT CONIFEROUS TREE WITH ELEVATION, SIZE AND SPECIES
FF		FINISHED FLOOR
☼		LIGHT POLE
(FD)		FOUND
I.PIPE ○		IRON PIPE
I.ROD ○		IRON ROD
BIT. CONC.		BITUMINOUS CONCRETE
—— 102 ——		SURFACE CONTOUR
		EDGE OF PAVEMENT
		EDGE OF WOODED AREA
—OHW—		EXISTING UTILITY POLE WITH DESIGNATION OVERHEAD WIRES AND GUY POLE
		RETAINING WALL
● WFA2		LIMIT OF BORDERING VEGETATED WETLAND WITH FLAG NUMBER
—○—		LIMIT OF 100-FOOT WETLAND BUFFER ZONE
		EDGE OF GRAVEL ROAD

TREE ABBREVIATIONS

M	MAPLE
O	OAK
P	PINE
BR	BIRCH

Map labels and features:

- VERANDA (PRIVATE ~ 50' WIDE) CIRCLE
- VILLA ROAD (PRIVATE ~ 50' WIDE)
- REX A. & ESTHER W. VANIER, DEED BOOK 13678, PAGE 43, PLAN BOOK 294, PLAN 91
- SUREYYA & KAREN CILIV, DEED BOOK 30281, PAGE 91, PLAN BOOK 306, PLAN 85
- I.ROD (FD)
- 214.11' (TIE LINE)
- 90.00'
- 374.00'
- 293.46'
- 484.72'
- L=135.42' R=540.00'
- 50.00' (TIE LINE)
- 53.02' (TIE)
- 1"I.PIPE(FD) FLUSH
- APPROXIMATE AREA OF LEACHING FIELD
- LOT 3 AREA; 107,872 ± S.F. 2.4765 ± ACRES
- 2½ STORY WOOD FRAMING DWELLING #8
- WOOD DECK
- PROPOSED GARAGE
- BIT. CONC. DRIVEWAY
- MULCH & SHRUBS
- 10' WIDE ACCESS EASEMENT PLAN BOOK 304, PLAN 83
- LIMIT OF 50' NO BUILD ZONE
- LIMIT OF BORDERING VEGETATED WETLAND
- 100' WETLAND BUFFER ZONE/BVRA
- WOODED AREA
- PROPOSED EROSION CONTROLS
- APPROXIMATE LOCATION OF PROPOSED SLOPE MITIGATION (4,000± S.F.)
- PLAN BOOK 294 PLAN 91
- TRAIL
- SHED
- WFA1 through WFA14
- UP2077, UP2365
- OHW
- PROPOSED DRIVEWAY
- FF EL =100.70 COR BLD (TYP.)

ELEVATION BENCH MARKS

▲ DATUM: ASSUMED

NO.	DESCRIPTION	ELEV.
1.	NAIL SET ON U-POLE #2365	97.38'
2.		
3.		

COMMONWEALTH OF MASSACHUSETTS
JASON A. ELLIS
No. 49062

SCALE: 1" = 30'

0   30   60   120

Ground Floor

31'-0"

roof over

up to loft

up to doorway landing

C — C

44'-11"

foundation wall steps here, both sides

roof over

30'-0"

Loft Floor

10'-0"

down

Point of View, at ground floor

Shed dormer over

C — C

Windows and Doors, Marvin "Elevate" series.
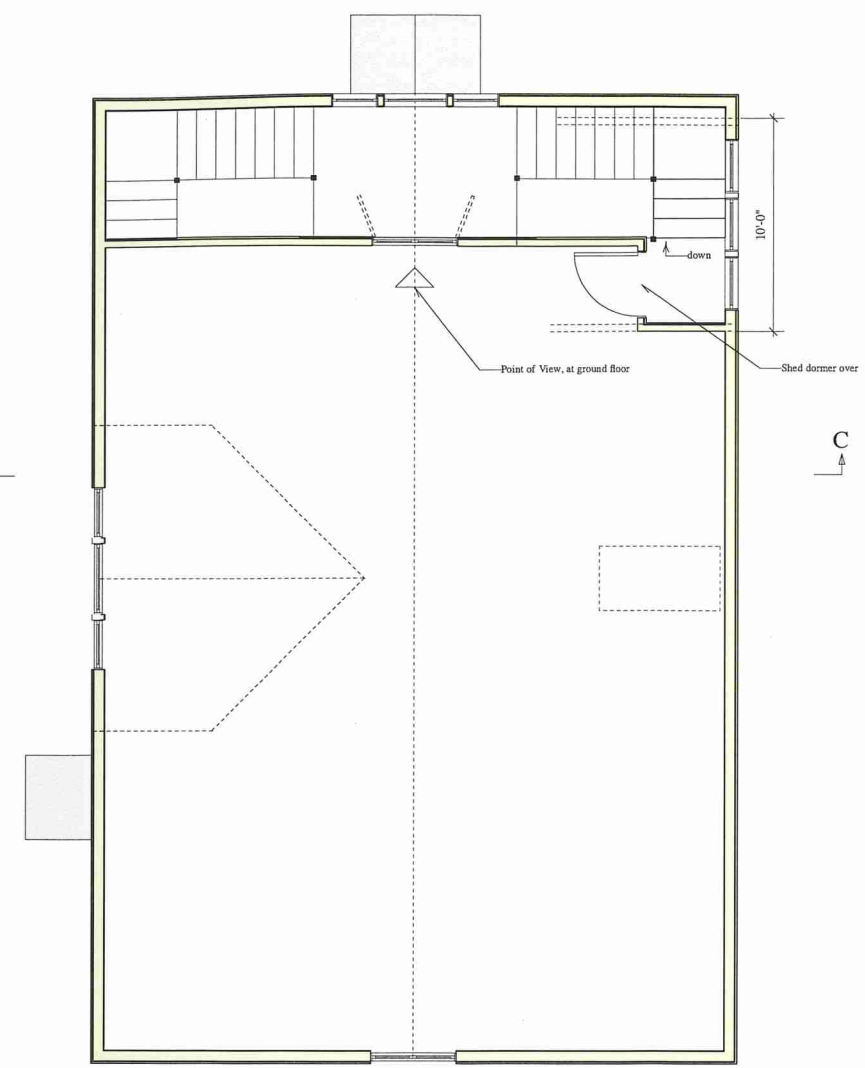
Unit	Qty.	Model	Rough opening	Notes
A	1	Velux S06	44-3/4"w. x 46-1/4" h.	
B	3	ELAWN2935	2' 5" w. x 2' 11-5/8"h.	separated by (2) 2x4 studs each.
C	3	ELCA2955	2' 5" w. x 4' 7-5/8" h.	
D	1	ELAWN2929	2' 5" w. x 3' 3-5/8"	
E	2	ELCAP2547	2' 1"h. x 3' 11-5/8" h.	three unit assembly, separated by (2) 2x4 studs each.
F	1	ELCAP3747	3' 1" w. x 3' 11-5/8"h.	
G	2	ELAWN2935	2' 5" w. x 2' 11-5/8"h.	Muntin pattern different than units "B", which are same size
H	1	Door	slab size 3' 6" x 6' 10"	Wood door by Simpson or equal
I	1	ELCA2971	4' 9" w. x 5' 11-5/8"h.	
J	2	eliptical transom	frame 9' 6" w. x 2' 10"	special order by Marvin or other
K	2	ELCA2959	2' 5" w. x 4' 11-5/8" h.	
L	1	ELCAP4159	3' 1" x 4' 11-5/8"	three unit assembly, separated by (2) 2x6 studs each.
M	1	ELAWN2939-3W	7' 1" x 3' 3-5/8"	
N	1	Door	slab size 3' 0" x 6' 10"	Wood door by Simpson or equal

Notes:
1. Include window screens.
2. Pine interior, primed.
3. Simulated divided light, 5/8" muntins, with silver spacer bar.
4. Interior hardware to have "antique brass" finish.
5. Door screens options include Andersen's aluminum units or equal, or Brosco wood doors or equal.
6. Elliptical transoms windows need not be clad exterior. Option for energy efficient glass: 'single strength' exterior storm panel.
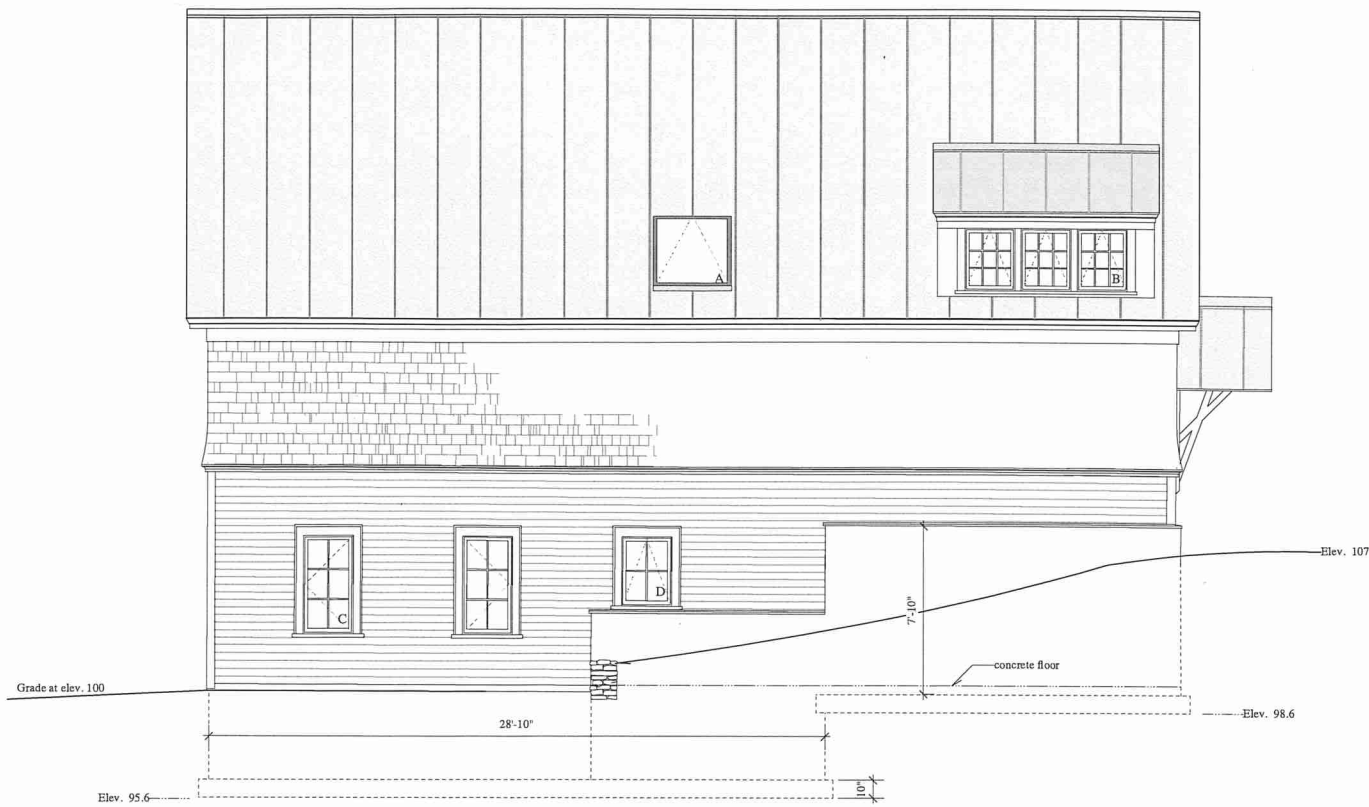7. No extension jambs (until interior wall finishes decided).

North

Elev. 107

concrete floor

Grade at elev. 100

Elev. 98.6

Elev. 95.6

28'-10"

7'-10"

10"

A

B

C

D

West

Plate

Floor

30'-0"

E   F

G

H

East

Plate

Floor

underside 14" beam

ceiling height, ground floor

13'-6"

9'-10"

9'-6"

30'-0"

concrete floor

I

J

South

24'-3"

31'-4"

45'-6"

K   L

M

N

C

Outline of Specifications

Foundation:
Poured concrete, 10" thick, as per detail sections.

Framing:
As per framing plans. 2x6 spruce/hemlock/fir studs. "I-Joist" floor framing.
Wall sheathing to be plywood.

Exterior Finishes:
Trim: red cedar C-and-better, sound and tight knots (STK), F1S2E, or designer and owner approved equal.
Pre-primed and painted. Seal all cuts before installation.
White cedar shingles, pre-stained to match the house.
Clapboards to be clear white pine, pre-painted or stained to match the house. Alternate: standard red cedar.

Exterior Flashings:
Red copper, and/or zinc, and lead.

Roof:
Standing seam aluminum, Kynar finished.
First alternate: standing seam steel.
Second alternate: laminated asphalt shingles.

Windows and doors:
By Marvin, aluminum clad, "Ultimate" series as per door and window schedule.
1st alternate: Marvin's "Elevate" series.
2nd alternate: Kolbe or Jeld-Wen windows or equal, either aluminum or fiberglass clad exterior.
Exterior doors: by Simpson or equal, such as Rogue Valley.
Overhead garage doors: as per elevation drawings (design details pending). Hardware to match door weight with finishes.

Insulation:
Closed cell spray foam at all locations.
Alternate: "Rockwol" or equal mineral wool at walls and between floors.

Heating, Cooling:
Air source heat pump system.

Floors:
Poured concrete at ground floor, as shown in section drawing.
Stair assembly: ash.
Loft floor: white pine, tongue and groove. Bona "Traffic" two part water base finish.

Walls and ceilings:
Main floor and loft: eastern white pine, tongue and groove, prefinished with white stain and glazing.
Alternate: 1/2" gypsum with veneer coat plaster.
Cellar at garage: per ICC building code requirements for garage and apartment fire protection.
Workshop (ground floor) walls: pine and/or gypsum and plaster as above.

Cabinetry:

Workbenches

Interior Doors and Hardware:

Lighting:
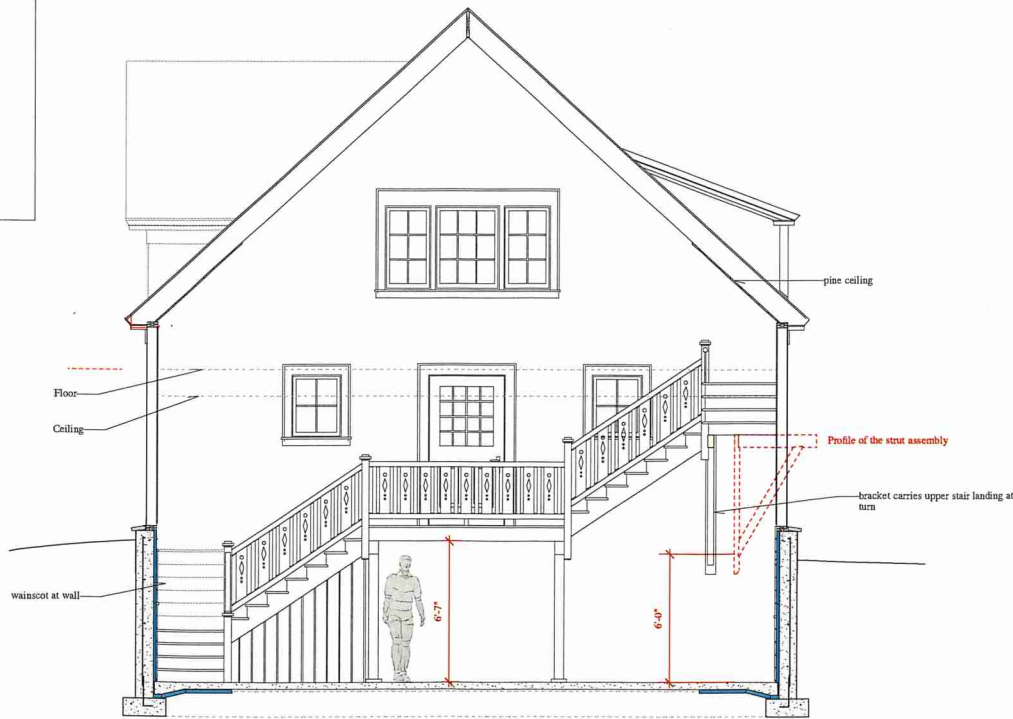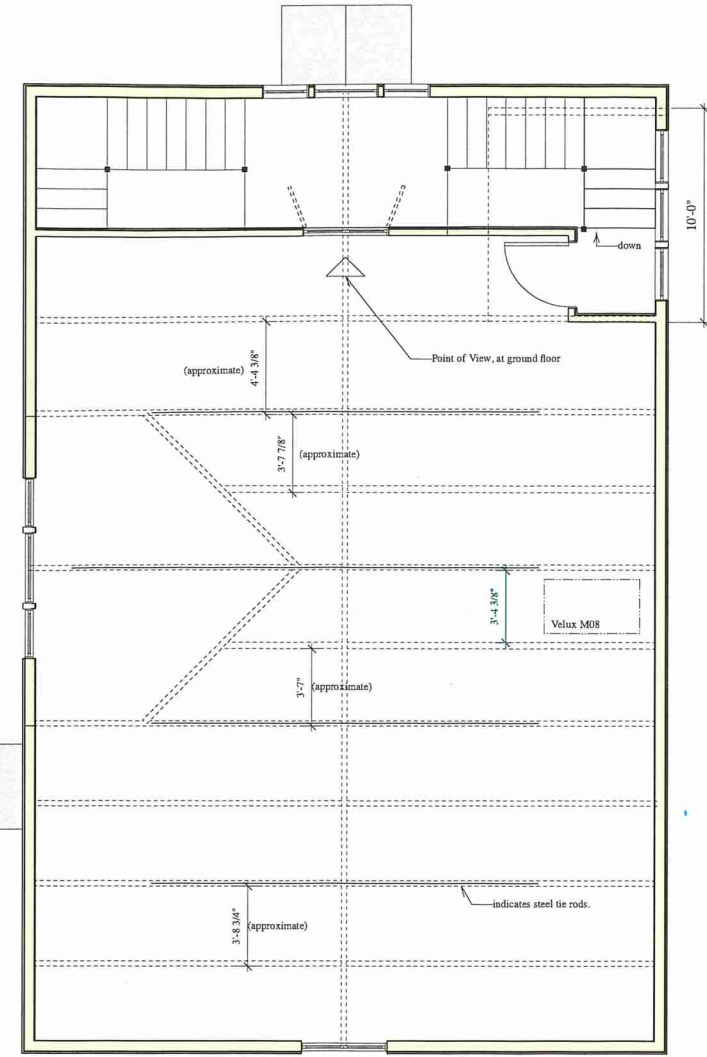
Design of a Barn
for the
Nary Family
8 Villa Road, Hamilton, Massachusetts

Interior Elevations
Reflected Loft Ceiling Plan
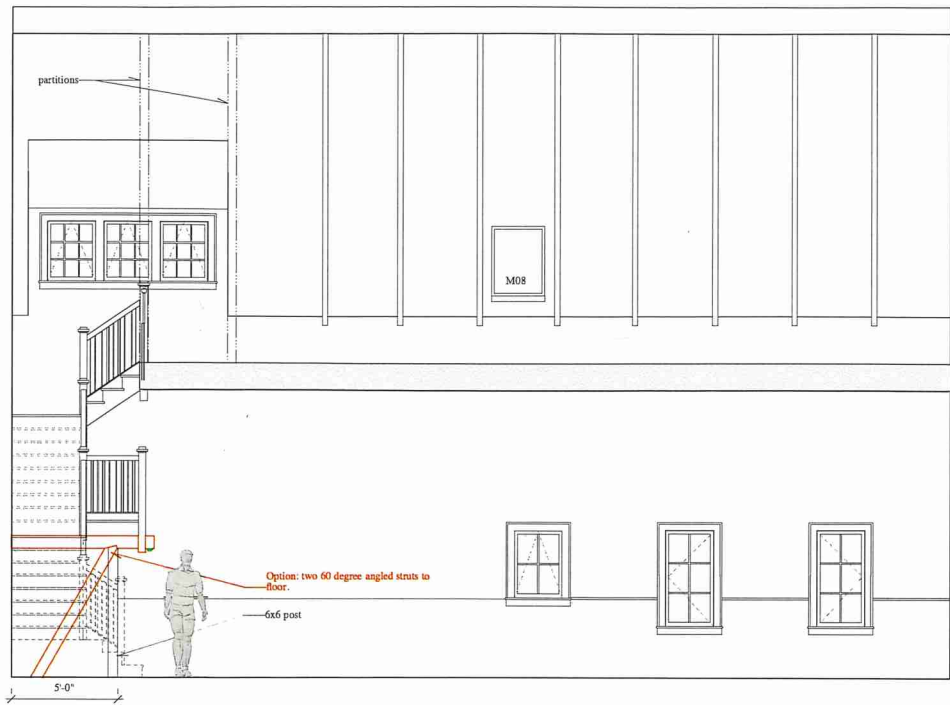
Scale: 1/4 inch = 1 foot, or as noted.

A3

33 Labor In Vain Road
Ipswich, Massachusetts
978-356-8679
Weatheralldesign@gmail.com

Weatherall Design

Design of a Barn
for the
Nary Family
8 Villa Road, Hamilton, Massachusetts

Concrete Foundation
and
Foundation Sections

Scale: 1/4 inch = 1 foot, or as noted.
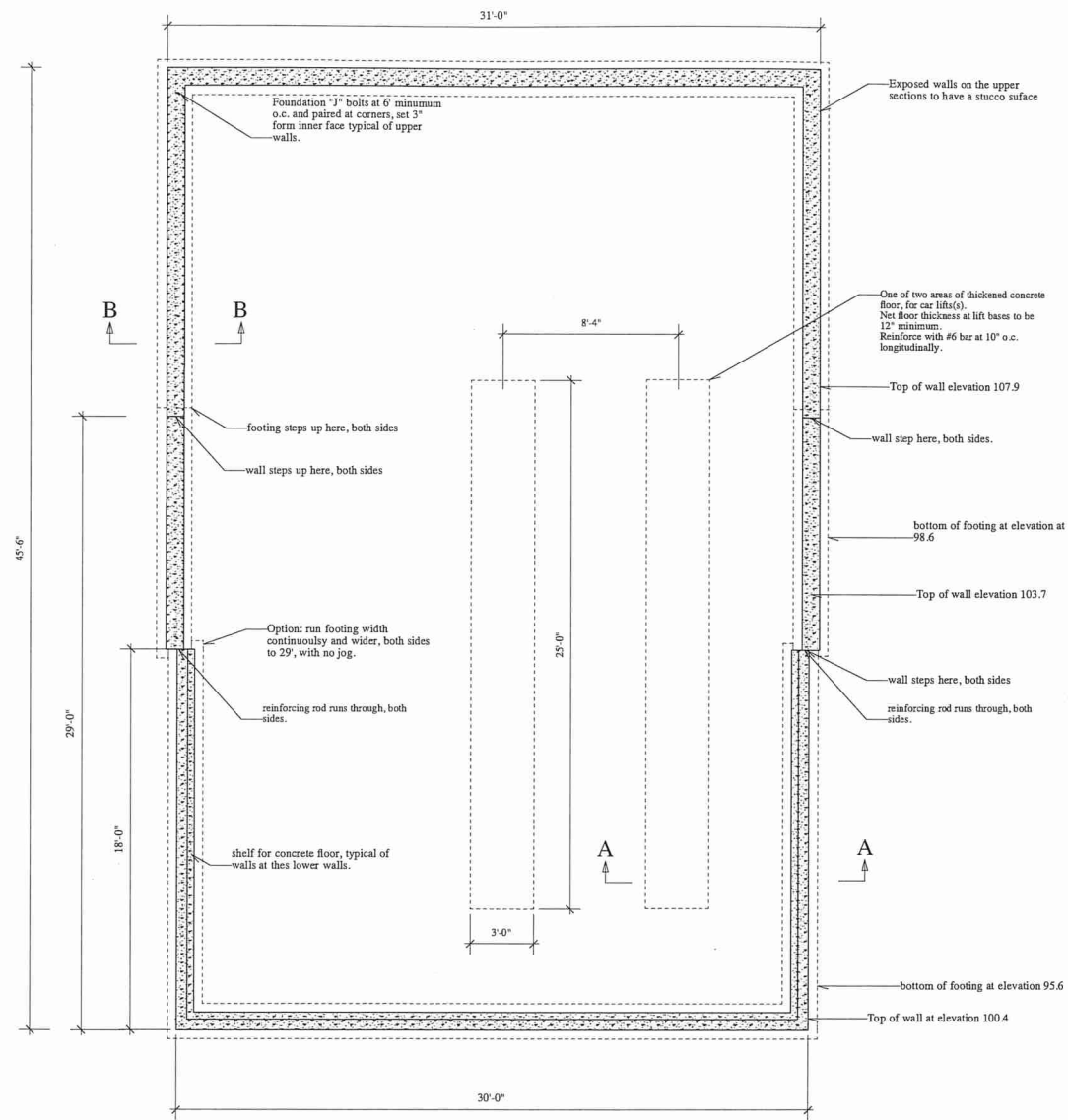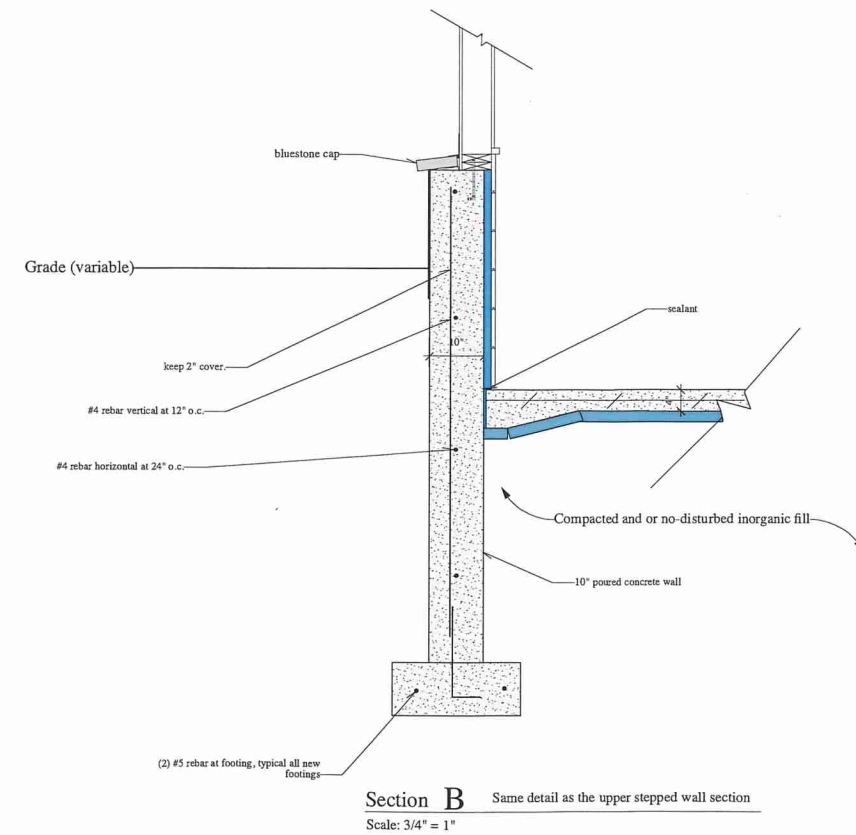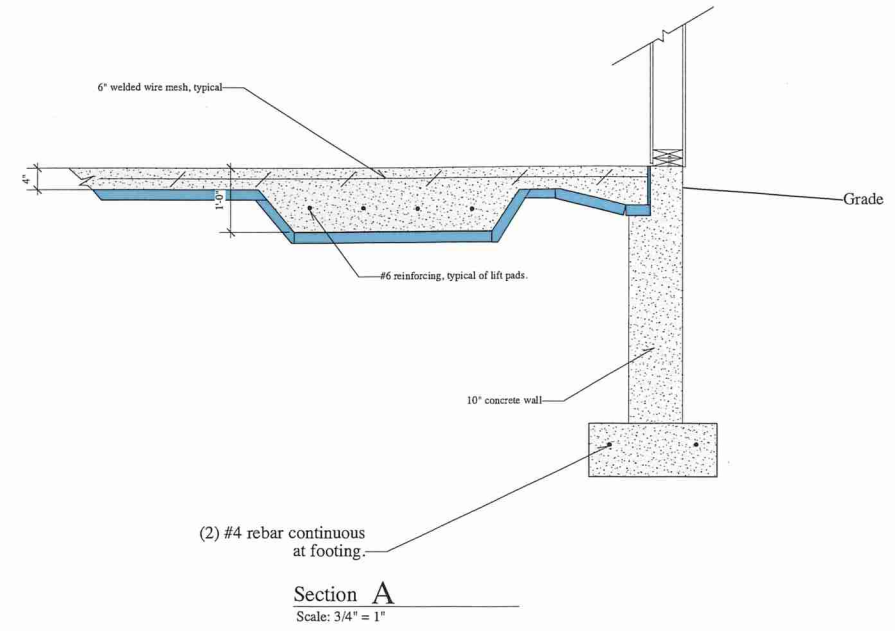
S1

Foundation Plan

31'-0"

45'-6"

29'-0"

18'-0"

30'-0"

8'-4"

25'-0"

3'-0"

Exposed walls on the upper sections to have a stucco suface

Foundation "J" bolts at 6' minumum o.c. and paired at corners, set 3" form inner face typical of upper walls.

One of two areas of thickened concrete floor, for car lift(s).
Net floor thickness at lift bases to be 12" minimum.
Reinforce with #6 bar at 10" o.c. longitudinally.

Top of wall elevation 107.9

wall step here, both sides.

bottom of footing at elevation at 98.6

Top of wall elevation 103.7

wall steps here, both sides

reinforcing rod runs through, both sides.

footing steps up here, both sides

wall steps up here, both sides

Option: run footing width continuously and wider, both sides to 29', with no jog.

reinforcing rod runs through, both sides.

shelf for concrete floor, typical of walls at thes lower walls.

bottom of footing at elevation 95.6

Top of wall at elevation 100.4

A   A

B   B

Section A
Scale: 3/4" = 1"

6" welded wire mesh, typical

#6 reinforcing, typical of lift pads.

10" concrete wall

Grade

(2) #4 rebar continuous at footing.

Section B
Scale: 3/4" = 1"

Same detail as the upper stepped wall section

bluestone cap

Grade (variable)

keep 2" cover

#4 rebar vertical at 12" o.c.

#4 rebar horizontal at 24" o.c.

10" poured concrete wall

sealant

Compacted and or no-disturbed inorganic fill

(2) #5 rebar at footing, typical all new footings

14" LVL ridge board

23'-4 1/2"

1" steel tie rod

standing seam aluminum roof

5/8" plywood

2" steel stirrup bolted to (2) 2x12
rafters; assume 4 units to the roof.

3/4" T+G pine. Alternate: 1/2"
gypsum board and plaster

Rock wool or spray foam insulation

2x12 rafter at 16" o.c.

T&G eastern white pine finish flooring.

3/4" T&G 'Advantec' osb or plywood
subfloor

Joist hanger, typical.

Georgia Pacific 14" BCI 90s 2.0, or equal, @ 12" o.c.

14" LVL shouldered 1" into studs,
and fastened with "Ledgerloc"
screws.

2x6 at 16" on center

spray foam or rock wool insulation
at walls.

5/8" gypsum board and veneer coat
plaster ceiling

1/2" plywood (not "Zip wall")

spary foam or rock wool insulation

14'-5 1/2"

Copper, zinc, or lead flashing under
clapboards

2" x 7" bluestone or granite
capstone.

1/2" gypsum and plaster, or T&G
pine.

Stucco finish at exposed concrete

3/4" T&G pine

3'-9"
(approx)

Grade (variable)

Grade (variable)

1-1/2" rigid foil face foam behind
2x4 screwed to concrete.

keep 2" cover.

#4 rebar vertical at 12" o.c.

sealant

#4 rebar horizontal at 24" o.c.

4" min. concrete floor, with 6"
welded wire mesh.

(2) #4 rebar continuous at footing.

2" rigid foam under floor,
continuous.

10" poured concrete wall

keep minumum frost portection
depth, will require a stepped
footing.

(2) #5 rebar at footing, typical all
new footings.

30'-0"
Width to outside of wood framed walls

Section C
Scale: 1/2 inch = 1 foot