

February 28, 2025

Hamilton Conservation Commission
Town Offices at Patton Homestead
650 Asbury Street
P.O. Box 429
Hamilton, MA 01936

**Subject: Notice of Intent
Roadway Resurfacing at Bradley Palmer State Park
Massachusetts Department of Conservation & Recreation**

Dear Commission Members,

On behalf of the Massachusetts Department of Conservation & Recreation (Applicant), AECOM respectfully submits this Notice of Intent (NOI) for work within Bradley Palmer State Park in Hamilton, Massachusetts (Site). DCR is proposing to resurface approximately 4,300 feet (0.81 miles) of Bradley Palmer State Park Road between the Topsfield Town Line and Highland Street (Project). The Project also includes the replacement of a collapsed culvert.

As a result of the Project, there will be temporary and permanent impacts to resources regulated under the Wetlands Protection Act (WPA). However, impacts to the Project have been minimized to the extent practicable, and the Project will result in an improvement over existing conditions, as described in the accompanying narrative.

If you have any questions regarding the submitted application, please do not hesitate to contact me at (203) 536-1833 or jessica.marino@aecom.com.

Sincerely,



Jessica Marino, PWS
Senior Wetland Scientist
jessica.marino@aecom.com

Copies to:

- Tom Valton, DCR
- MassDEP – Northeast Regional Office

Notice of Intent

Pavement Improvements and Roadway Resurfacing at
Bradley Palmer State Park

Hamilton, Massachusetts

Massachusetts Department of Conservation & Recreation

Quality information

Prepared by	Checked by	Verified by	Approved by
			
Jessica Marino Senior Wetland Scientist	Thomas J. Keough Project Manager		

Revision History

Revision	Revision date	Details	Authorized	Name	Position
1.0	2/4/2025	First draft		Jessica Marino	Senior Scientist

Distribution List

# Hard Copies	PDF Required	Association / Company Name
1	✓	Town of Hamilton Conservation Commission
1	✓	MassDEP – Northeast Regional Office
1	✓	Natural Heritage and Endangered Species Program (NHESP)

Prepared for:

Massachusetts Department of Conservation & Recreation
6 Edwin H. Land Boulevard
Cambridge, MA 02141

Prepared by:

Jessica Marino
Senior Wetland Scientist
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WPA Form 3 & Wetland Fee Transmittal Forms



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Hamilton

City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

540 Highland Street Hamilton 01982
a. Street Address b. City/Town c. Zip Code

Latitude and Longitude:
42.64359 -70.8909
d. Latitude e. Longitude

Map 12 Parcel 20-1
f. Assessors Map/Plat Number g. Parcel /Lot Number

2. Applicant:

Thomas Valton
a. First Name b. Last Name

Massachusetts Department of Conservation and Recreation
c. Organization

6 Edwin H. Land Boulevard
d. Street Address

Cambridge MA 02141
e. City/Town f. State g. Zip Code

339-368-2930 thomas.valton@state.ma.us
h. Phone Number i. Fax Number j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

Priscilla Geigis
a. First Name b. Last Name

Massachusetts Department of Conservation and Recreation
c. Organization

10 Park Plaza, Suite 6620
d. Street Address

Boston MA 02116
e. City/Town f. State g. Zip Code

617-626-4986 priscilla.geigis@mass.gov
h. Phone Number i. Fax Number j. Email address

4. Representative (if any):

Jessica Marino
a. First Name b. Last Name

AECOM
c. Company

250 Apollo Drive
d. Street Address

Chelmsford MA 01824
e. City/Town f. State g. Zip Code

203-536-1833 jessica.marino@aecom.com
h. Phone Number i. Fax Number j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$750.00 \$362.50 \$387.50
a. Total Fee Paid b. State Fee Paid c. City/Town Fee Paid



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Bureau of Resource Protection - Wetlands

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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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City/Town

A. General Information (continued)

6. General Project Description:

DCR is proposing to mill and overlay Bradley Palmer State Park Road from the Topsfield Town Line to Highland Street.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

10.53(3)(f): maintenance and improvement of existing public roadways.

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Southern Essex

a. County

3389

c. Book

b. Certificate # (if registered land)

25

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input checked="" type="checkbox"/> Bordering Vegetated Wetland	8 SF 1. square feet	0 SF 2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet 3. cubic yards dredged	2. square feet

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input checked="" type="checkbox"/> Bordering Land Subject to Flooding	3,209 SF (temporary) 1. square feet 0 SF 3. cubic feet of flood storage lost	0 SF 2. square feet 0 SF 4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet 2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input checked="" type="checkbox"/> Riverfront Area	Unnamed tributary to Ipswich River (inland) 1. Name of Waterway (if available) - specify coastal or inland	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: 50,258 SF
square feet

4. Proposed alteration of the Riverfront Area:

5,375 SF (temporary) 2,163 SF (temporary) 3,212 SF (temporary)
 a. total square feet b. square feet within 100 ft. c. square feet between 100 ft. and 200 ft.

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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Provided by MassDEP:

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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet 2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
f. <input type="checkbox"/> Coastal Banks	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet 2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above 1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet	

4. Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

a. square feet of BVW

b. square feet of Salt Marsh

5. Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

- August 2021
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

- Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage

- Assessor’s Map or right-of-way plan of site

- Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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City/Town

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

C. Other Applicable Standards and Requirements (cont'd)

- 4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 - a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 - b. ACEC

- 5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 - a. Yes No
- 6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 - a. Yes No
- 7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 - a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 - 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 - 2. A portion of the site constitutes redevelopment
 - 3. Proprietary BMPs are included in the Stormwater Management System.
 - b. No. Check why the project is exempt:
 - 1. Single-family house
 - 2. Emergency road repair
 - 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

- 1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
- 2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

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Provided by MassDEP:
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Hamilton
City/Town

D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

<u>Bradley Palmer Pavement Resurfacing, Maitenance, and Repair</u>	
a. Plan Title	
<u>AECOM</u>	<u>Randy Twiss</u>
b. Prepared By	c. Signed and Stamped by
<u>10/29/2024</u>	<u>Various</u>
d. Final Revision Date	e. Scale

f. Additional Plan or Document Title	g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

<u>231</u>	<u>2/28/25</u>
2. Municipal Check Number	3. Check date
<u>Paid online via eDEP</u>	
4. State Check Number	5. Check date
<u>Jessica</u>	<u>Reholz</u>
6. Payor name on check: First Name	7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
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WPA Form 3 – Notice of Intent

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Provided by MassDEP:
MassDEP File Number
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Hamilton
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F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant  Thomas Valton	2. Date 2/26/25
3. Signature of Property Owner (if different) Jessica Marino	4. Date 2/27/25
5. Signature of Representative (if any)	6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

<u>Bradley Palmer State Park Road</u>	<u>Hamilton</u>
a. Street Address	b. City/Town
<u>Paid online via eDEP</u>	<u>\$362.50</u>
c. Check number	d. Fee amount

2. Applicant Mailing Address:

<u>Thomas</u>	<u>Valton</u>	
a. First Name	b. Last Name	
<u>Massachusetts Department of Conservation and Recreation</u>		
c. Organization		
<u>6 Edwin H. Land Boulevard</u>		
d. Mailing Address		
<u>Cambridge</u>	<u>MA</u>	<u>02141</u>
e. City/Town	f. State	g. Zip Code
<u>339-368-2930</u>	<u>thomas.valton@state.ma.us</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property Owner (if different):

<u>Priscilla</u>	<u>Geigis</u>	
a. First Name	b. Last Name	
<u>Massachusetts Department of Conservation and Recreation</u>		
c. Organization		
<u>10 Park Plaza, Suite 6620</u>		
d. Mailing Address		
<u>Boston</u>	<u>MA</u>	<u>02116</u>
e. City/Town	f. State	g. Zip Code
<u>617-626-4986</u>	<u>priscilla.geigis@mass.gov</u>	
h. Phone Number	i. Fax Number	j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



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B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
2e.) inland limited project	1	\$500	\$500.00 x 1.5
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

Step 5/Total Project Fee: \$750.00

Step 6/Fee Payments:

Total Project Fee:	<u>\$750.00</u>
State share of filing Fee:	<u>\$362.50</u>
City/Town share of filing Fee:	<u>\$387.50</u>
	a. Total Fee from Step 5
	b. 1/2 Total Fee less \$12.50
	c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

Project Narrative

1. Introduction

On behalf of the Massachusetts Department of Conservation and Recreation (DCR), AECOM is submitting this Notice of Intent (NOI) for the resurfacing of Bradley Palmer State Park Road between the Topsfield Town Line and Highland Street (Project) in Hamilton, Massachusetts (Site), and the repair of a culvert within the roadway. This NOI is being submitted pursuant to the Massachusetts Wetlands Protection Act (WPA) (MGL C. 131, s. 40) and its Regulations (310 CMR 10.00) as well as the Town of Hamilton Conservation Bylaw.

Under 310 CMR 10.02(2)(b)2.p, the proposed pavement repair, resurfacing, and reclamation of existing roadways within the right-of-way configuration is considered a "minor activity" that is temporary and has negligible impacts. Per 310 CMR 10.02(2)(a) and (b), the proposed activity is not subject to regulation when it falls within the Riverfront Area and/or 100-foot Buffer Zone. However, portions of the Project are also located within Bordering Land Subject to Flooding (BLSF), and the resurfacing of these segments of the roadway is not automatically exempt from regulation.

The repair of the existing culvert qualifies as a "Limited Project" under the WPA regulations for inland resource areas per 310 CMR 10.53(3)(k) for the "*routine maintenance and repair of road drainage structures including culverts and catch basins, drainage easements, ditches, watercourses and artificial water conveyances to ensure flow capacities which existed on the effective date of 310 CMR 10.51 through 10.60 (April 1, 1983).*"

1.1 Project Overview

DCR is proposing to resurface approximately 4,300 feet (0.81 miles) of Bradley Palmer State Park Road between the Topsfield Town Line and Highland Street in Hamilton, Massachusetts, as shown on the United States Geological Survey (USGS) Topographic Map (**Figure 1**) in **Appendix A**. The Project is located within the 100-foot Buffer Zone to Bank, the 100-foot Buffer Zone to BVW, BVWs, the 200-foot Riverfront Area, and Bordering Land Subject to Flooding. The Project is discussed further in Section 4.0.

1.2 Site Description

Bradley Palmer State Park is a public recreation area covering 736 acres on the Ipswich River in the towns of Hamilton and Topsfield. The park contains numerous trails for walking, hiking, mountain biking, horseback riding, and cross-country skiing, and offers picnicking, canoeing, and fishing. The park is operated and maintained by DCR. The Site consists entirely of Bradley Palmer State Road. The Site includes an estimated area of 2.12 acres, in which the existing land use is degraded asphalt/concrete patching.

1.3 Project Purpose

The purpose of the Project is to improve roadway conditions within Bradley Palmer State Park. The current condition of the roadway is poor, with numerous asphalt cracks throughout and uneven surfaces which make driving or biking on the roadway difficult. The Project will improve the condition of the roadway throughout by creating a smooth, uneven surface for motorists, walkers, and cyclists. The Project is discussed in greater detail in Section 4.0.

1.4 Abutter Notification

Per the Town of Hamilton Conservation Bylaw Regulations Section V, Subsection B, "the Applicant shall notify all abutters within 300 feet of the subject parcel of the filing of the NOI, the availability of the NOI for public inspection at the Commission office, and the public hearing date." Proof of abutter notification under the bylaw is included in **Appendix E**.

2. Existing Conditions

2.1 Desktop Review of Project Limits

According to the USGS topographic map, the approximate range of elevation for the Site is from 42 to 58 feet above mean sea level (**Figure 1**). Based on reviews of the Massachusetts Department of Environmental Protection (MassDEP) Wetland Area Maps for Essex County¹, the Site is mapped as having the following inland resources: Wooded Swamp Deciduous, Shrub Swamp, and Shallow Marsh Meadow or Fen (**Figure 3**).

Based on review of the National Wetland Inventory (NWI) Map provided by the U.S. Fish and Wildlife Service (USFWS), inland wetlands are mapped within and surrounding the Site and have similar boundaries as the inland resources mapped by MassDEP (**Figure 3**). The wetlands mapped within the Site are classified as palustrine forested, broad-leaved deciduous, seasonally flooded/saturated (PFO1E), palustrine forested, broad-leaved deciduous, seasonally flooded (PFO1C), palustrine scrub shrub, broad-leaved deciduous, semipermanently flooded (PSS1F), palustrine forested, broad-leaved deciduous, seasonally flooded/saturated, partially drained/ditched (PFO1Ed), riverine intermittent streambed, seasonally flooded (R4SBC), and palustrine unconsolidated bottom, permanently flooded, diked/impounded (PUBHh).

The most recently issued Flood Insurance Rate Map (FIRM)² produced by the Federal Emergency Management Agency (FEMA), indicates that a portion of the Site is located within Zone A, which is characterized as an area with a 1% or greater chance of flooding (**Figure 4**). There is no Base Flood Elevation (BFE) identified for the Project.

According to the most recently available data provided by the Massachusetts Natural Heritage and Endangered Species Program³, the entire Site is located within a Priority Habitat of Rare Species area (PH #1915) and Estimated Habitat of Rare Wildlife area (EH #1237). There are no Certified or Potential Vernal Pools within or adjacent to the Site. The Site is not located within an Area of Critical Environmental Concern⁴ or Outstanding Resource Water⁵. The Site is located within a Zone II Wellhead Protection Area⁶ associated with the Ipswich Department of Public Utilities Water Department (**Figure 5**).

2.2 Resource Areas and Buffer Zones

A field delineation was conducted between June and November of 2023 and was performed in accordance with methods developed by MassDEP⁷ and the U.S. Army Corps of Engineers (USACE)⁸. Wetland resources areas identified within or near the Site included Bank, Land Under Water Bodies and Waterways, BVWs, and Bordering Land Subject to Flooding. These resources are defined under the WPA as:

- **Bank:** As defined in 310 CMR 10.54(2)(a), is “the portion of the land surface which normally abuts and confines a waterbody.”
- **Land Under Water Bodies and Waterways (LUWW):** As defined in 310 CMR 10.56(2)(a), is “the land beneath any creek, river, stream, pond or lake.”
- **Bordering Vegetated Wetlands (BVW):** As defined in 310 CMR 10.55(2)(a), are “freshwater wetlands which border on creeks, rivers, streams, ponds and lakes.”
- **Riverfront Area:** As defined in 310 CMR 10.58(2)(a), is “the area of land between a river's mean annual high-water line measured horizontally outward from the river and a parallel line located 200 feet away.”
- **Bordering Land Subject to Flooding (BLSF):** As defined in 310 CMR 10.57(2)(a), is “an area with low, flat topography adjacent to and inundated by flood waters rising from creeks, rivers, streams, ponds or lakes.”

Wetland resource areas within the Site are depicted on the Site Plans in **Appendix B**. The WPA establishes

¹MassDEP. 2020. Mass DEP Online Map Viewer Wetland and Wetland Change Areas Map. Available at: <http://maps.massgis.state.ma.us/images/dep/omv/wetviewer.htm>. Accessed January 2025.

²Federal Emergency Management Agency, October 2017, National Hazard Flood Layer, Digital Flood Insurance Rate Map. Map 25009C0269F. Effective 7/3/2012. Accessed January 2025.

³Massachusetts Natural Heritage and Endangered Species Program, August 2021. Massachusetts Natural Heritage Atlas. 15th Edition.

⁴MassGIS (collaboration with DCR and CZM), Sept. 2017. Massachusetts ACECs.

⁵MassGIS, Dec. 2017. Designated Outstanding Resource Waters of Massachusetts.

⁶MassGIS, Oct. 2017. Approved Wellhead Protection Areas (Zone I and IWPA).

⁷MassDEP, 1995. Delineating BVWs Under the Massachusetts Wetlands Protection Act.

⁸USACE, 2012. Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, Version 2.0.

100-foot Buffer Zones extending from inland resources including Bank and BVW. The WPA states that any activities that are undertaken within 100 feet of an area specified in 310 CMR 10.02(1)(a) will be conducted per 310 CMR 10.02(2)(b), “in a manner so as to reduce the potential for any adverse impacts to the resource area during construction, and with post-construction measures implemented to stabilize any disturbed areas.” The WPA also establishes a 200-foot Riverfront Area for the unnamed tributary to Ipswich River. Work within the Riverfront Area must meet the performance standards pursuant to 310 CMR 10.58(4).

2.2.1 Hamilton Conservation Bylaw Resource Areas

Wetland resources subject to jurisdiction under the Hamilton Conservation Bylaw (“bylaw”) differ from those protected under the WPA in that additional areas are protected by the bylaw. In addition to the resource areas outlined above in Section 2.2, areas subject to protection under the bylaw include smaller ponds, vernal pools, certain freshwater wetlands that may not meet the definition of BVW under the WPA and Associated Upland Resource Areas (AURAs). AURAs are defined under the bylaw as “areas of land extending 100 feet horizontally outward from the boundary of any freshwater wetlands, marshes, wet meadows, bogs, swamps, vernal pools, springs, banks, reservoirs, lakes, ponds of any size, and lands under water bodies.”

3. Alternatives Analysis

Three alternatives were considered as part of the Project, as described below. Each alternative that met the overall project purpose was evaluated based on practicability and environmental impacts to determine the Least Environmentally Damaging Practicable Alternative (LEDPA). Almost the entire Site is located within the Town of Hamilton’s 100-foot AURA and a portion of the roadway entirely overlaps the Riverfront Area; therefore, no feasible alternatives exist for the Project that would not impact the AURA/Riverfront Area. Impacts to the AURA and Riverfront Area are unavoidable but have been minimized to the extent practicable.

Alternative 1 – No Build: Alternative 1, the No-Build Alternative, assumes that no changes would be made to the Site. Bradley Palmer State Park Road would not be repaved, and the collapsed culvert would not be replaced. Under Alternative 1, the roadway would continue to crack and deteriorate, and the culvert would likely cause a partial washout of the roadway, resulting in lengthy road closures to the park. The No-Build Alternative does not achieve the purpose of the Project, which is to improve the condition of the roadway. Therefore, the No-Build Alternative was dismissed.

Alternative 2 – Partial Site Improvements: Alternative 2, Partial Site Improvements, would include resurfacing of the roadway, but would not include replacement of the culvert. Under this alternative, impacts to the Riverfront Area and AURA would be reduced, but the culvert underneath the roadway would continue to deteriorate. Although Alternative 2 would reduce all impacts to regulated resources, it does not fully achieve the purpose of the Project. Therefore, Alternative 2 was dismissed.

Alternative 3 – Site Improvements (Preferred Alternative): Alternative 3, Site Improvements, assumes the resurfacing of the roadway and replacement of the deteriorating culvert. Alternative 3 was selected as the preferred alternative because it fully achieves the purpose of the Project, which is to improve the condition of the roadway for motorists, cyclists, and walkers.

4. Project Description

The Project involves approximately 4,300 feet (0.81 miles) of roadway resurfacing along Bradley Palmer State Park Road between the Topsfield Town Line and Highland Street. The Project includes mill and overlay for all but 60 linear feet, where full depth reconstruction of the roadway is proposed. No trees will be removed as part of the Project. Also included in the scope of the Project is the replacement of a collapsed 24” culvert with a 24” high-density polyethylene (HDPE) pipe. Details regarding the limits of the proposed activities are provided in **Appendix B**.

4.1 Minor Activities within the Buffer Zone

Pursuant to 310 CMR 10.02(b)(2)(p), “pavement repair, resurfacing, and reclamation of existing roadways within the right-of-way configuration provided that the roadway and shoulders are not widened” within the Buffer Zone is considered a minor activity and is not subject to regulation under the WPA. Therefore, impact areas due to resurfacing within the 100-foot Buffer Zones to Bank and BVW are not included in Table 1 below.

4.2 Erosion and Sedimentation Control

During construction, erosion and sedimentation controls such as silt fencing and compost filter tubes (or similar) will be utilized. All erosion and sedimentation controls will be removed following completion of the work, and all disturbed areas will be permanently stabilized. Erosion controls will be inspected on a regular basis and maintained in working condition until all disturbed areas are stable. Locations and details of erosion and sediment controls are shown in **Appendix B**.

The Contractor will also inspect the Site and remove any demolition debris or other construction related materials upon completion. To minimize runoff and washout, no work shall be performed adjacent to resource areas during significant rain events.

4.3 Restoration

Following construction, gravel and paved surfaces will be restored to pre-construction conditions in accordance with the DCR Parkway Standards. Disturbed upland areas will be loamed and seeded with an upland grass seed mix to match the existing park environment. All restoration areas are shown in **Appendix B** and on Sheet D-02 in the Construction Details.

4.4 Project Impacts

The Project is anticipated to result in impacts to WPA and Town of Hamilton jurisdictional resource areas, as shown in the table below.

Table 1. Summary of Impacts

Activity	Resource Area(s)	Temporary Impacts (ft ²)	Permanent Impacts (ft ²)	Total Impacts (ft ²)
Roadway Resurfacing/Repaving	BLSF	3,209 ft ²	0 ft ²	3,209 ft ²
	AURA	65,372 ft ²	0 ft ²	65,372 ft ²
	Riverfront Area	5,375 ft ²	0 ft ²	5,375 ft ²
Culvert Replacement	BVW	0 ft ²	8 ft ²	8 ft ²

4.4.1 Floodplain/BLSF

Portions of the Site are located within the 100-year floodplain associated with Ipswich River. The limits of the floodplain are concurrent with the limits of BLSF. Per the Site’s FEMA FIRM (Map #25009C0269F), no base flood elevation (BFE) on the Site is available. Therefore, the limit of BLSF was conservatively estimated to be 51.0’ based on the highest contour that intersected FEMA Flood Zone A. No flood storage loss will occur at any elevation because there is no change in the grade of the road, and work within the floodplain is limited to mill and overlay; therefore, floodplain compensation is not provided as part of the Project. Additionally, the Project will not impact or impair BLSF’s capacity to provide important wildlife habitat functions as the impact areas associated with BLSF are comprised entirely of the existing roadway and do not currently provide any important wildlife habitat functions.

4.4.2 AURA

A majority of the Site is located within AURAs. All AURAs on the Site are associated with BVWs. Temporary impacts to AURAs are due to the installation of erosion and sedimentation controls and resurfacing of the

roadway. There will be no increase in impervious surface due to the Project and the condition of the Site will return to pre-construction conditions upon completion of the Project.

4.4.3 Riverfront Area

Portions of the Site are located within the Riverfront Area associated with an unnamed tributary to Ipswich River, a mapped perennial stream. The Riverfront Area is concurrent with the outer riparian zone and consists entirely of the existing roadway and maintained right-of-way. For areas temporarily impacted by the Project, they will be restored to pre-construction condition, including loaming and seeding with an appropriate upland seed mix⁹. Impacts to the Riverfront Area quantified in Table 1.

4.4.4 BVW

A small portion of existing BVWs on both sides of the roadway will be permanently impacted by the Project due to the culvert replacement. Two (2) flared-end sections (FES) at either end of the new HDPE pipe will be installed within BVW. The FES will result in approximately 4 ft² of impact on both sides of the roadway, for a total permanent impact to BVW of 8 ft². No grading for installation of the FES is required as part of the Project. Details regarding the FES are shown on Sheet D-02 of the Construction Details in **Appendix B**.

5. Regulatory Compliance

The following section details the Project's regulatory compliance with the WPA and the bylaw, including all applicable resource area performance standards. As afforded at 310 CMR 10.53(3), it is within the issuing authority's discretion to consider the magnitude of the alteration and the significance of the Project to the interests identified in the WPA, the availability of reasonable alternatives to the proposed activities, the extent to which disturbances are minimized, and the extent to which mitigation measures, including restoration, are provided to contribute to the protection of the interests identified in the WPA.

5.1 Massachusetts Wetlands Protection Act

The Project meets performance standards associated with WPA resources as described below.

- **100-foot Buffer Zone to Bank/BVW ("Buffer Zone")**

The Buffer Zone is not a resource area pursuant to the Wetlands Protection Act, and as such, there are no performance standards associated with the 100-foot Buffer Zone to Bank/BVW.

- **BLSF (310 CMR 10.57(4)):**

310 CMR 10.57(4)(a)(1): Compensatory storage shall be provided for all flood storage volume that will be lost as the result of a proposed project within Bordering Land Subject to Flooding, when in the judgment of the issuing authority said loss will cause an increase or will contribute incrementally to an increase in the horizontal extent and level of flood waters during peak flows. Compensatory storage shall mean a volume not previously used for flood storage and shall be incrementally equal to the theoretical volume of flood water at each elevation, up to and including the 100-year flood elevation, which would be displaced by the proposed project. Such compensatory volume shall have an unrestricted hydraulic connection to the same waterway or water body. Further, with respect to waterways, such compensatory volume shall be provided within the same reach of the river, stream or creek.

There will be no flood storage lost because of the Project. The Project does not propose any changes to grade, and there will be no increase in impervious area as part of the Project. Therefore, floodplain compensation is not required as part of the Project.

310 CMR 10.57(4)(a)(2): Work within Bordering Land Subject to Flooding, including that work required to provide the above-specified compensatory storage, shall not restrict flows so as to cause an increase in flood stage or velocity.

⁹New England Roadside Matrix Upland Seed Mix (<https://newp.com/product/new-england-roadside-matrix-upland-seed-mix/>) or equivalent.

The Project will not restrict the flows of any body of water, and the Project will not cause an increase in flood stage or velocity.

310 CMR 10.57(4)(a)(3): Work in those portions of bordering land subject to flooding found to be significant to the protection of wildlife habitat shall not impair its capacity to provide important wildlife habitat functions. Except for work which would adversely affect vernal pool habitat, a project or projects on a single lot, for which Notice(s) of Intent is filed on or after November 1, 1987, that (cumulatively) alter(s) up to 10% or 5,000 ft² (whichever is less) of land in this resource area found to be significant to the protection of wildlife habitat, shall not be deemed to impair its capacity to provide important wildlife habitat functions. Additional alterations beyond the above threshold, or altering vernal pool habitat, may be permitted if they will have no adverse effects on wildlife habitat, as determined by procedures contained in 310 CMR 10.60.

All work within BLSF is occurring within previously degraded and/or disturbed right-of-way per 310 CMR 10.57(1)(a)(3), and thus will not impair the projection of wildlife habitat.

- **Riverfront Area (310 CMR 10.58(4))**

As previously stated, no permanent impacts are proposed to the Riverfront Area and roadway resurfacing projects are exempt from the performance standards of the Riverfront Area. The General Performance Standards for Riverfront Area are outlined at 310 CMR 10.58(4) and include the following:

310 CMR 10.58(4)(a): The work shall meet the performance standards for all other resource areas within the Riverfront Area, as identified in 310 CMR 10.30 (Coastal Bank), 10.32 (Salt Marsh), 10.55 (BVW), and 10.57 (Land Subject to Flooding). When work in the Riverfront Area is also within the buffer zone to another resource area, the performance standards for the Riverfront Area shall contribute to the protection of the interests of M.G.L. c. 131, § 40 in lieu of any additional requirements that might otherwise be imposed on work in the buffer zone within the Riverfront Area.

The Project is a Limited Project per 310 CMR 10.53(3)(f) and impacts to other resources have been avoided and minimized to the greatest extent practicable.

310 CMR 10.58(4)(b): No project may be permitted within the Riverfront Area which will have any adverse effect on specified habitat sites of rare wetland or upland, vertebrate or invertebrate species, as identified by the procedures established under 310 CMR 10.59 or 10.37, or which will have any adverse effect on vernal pool habitat certified prior to the filing of the Notice of Intent.

A portion of the Project falls within the NHESP Estimated Habitat of Rare Wildlife area and Priority Habitat of Rare Species area and is co-located within the Riverfront Area. A Streamlined MESA filing is being submitted concurrently with this NOI.

310 CMR 10.58(4)(c): There must be no practicable and substantially equivalent economic alternative to the proposed project with less adverse effects on the interests identified in M.G.L. c. 131 § 40.

As described in Section 3.0, there are no practicable or substantially equivalent alternatives for the Project and the proposed activities improve existing conditions pedestrians, cyclists, and vehicles that traverse Bradley State Park Road.

310 CMR 10.58(4)(d): The work, including proposed mitigation measures, must have no significant adverse impact on the Riverfront Area to protect the interests identified in M.G.L. c. 131, § 40.

The proposed project will not have an adverse impact on RFA, as the resurfacing of the existing roadway will not result in new impervious surfaces.

- **BVW (310 CMR 10.55(4))**

310 CMR 10.55(4)(a): Where the presumption set forth in 310 CMR 10.55(3) is not overcome, any proposed work in a BVW shall not destroy or otherwise impair any portion of said area.

The Project will permanently impact approximately 8 ft² of BVW due to installation of 2 FES as part of the culvert replacement. However, the Project meets the definition of a Limited Project under 310 CMR 10.53(3)(k) and impacts to other resources have been avoided and minimized to the greatest extent practicable. Additionally, there are no feasible alternatives exist for the Project that would not impact the BVW. The current culvert is collapsing underneath the roadway and requires replacement.

310 CMR 10.55(4)(b): *Notwithstanding the provisions of 310 CMR 10.55(4)(a), the issuing authority may issue an Order of Conditions permitting work which results in the loss of up to 5,000 ft² of BVW when said area is replaced in accordance with the following general conditions and any additional, specific conditions the issuing authority deems necessary to ensure that the replacement area will function in a manner similar to the area that will be lost:*

1. *the surface of the replacement area to be created ("the replacement area") shall be equal to that of the area that will be lost ("the lost area");*
2. *the ground water and surface elevation of the replacement area shall be approximately equal to that of the lost area;*
3. *The overall horizontal configuration and location of the replacement area with respect to the bank shall be similar to that of the lost area;*
4. *the replacement area shall have an unrestricted hydraulic connection to the same water body or waterway associated with the lost area;*
5. *the replacement area shall be located within the same general area of the water body or reach of the waterway as the lost area;*
6. *at least 75% of the surface of the replacement area shall be reestablished with indigenous wetland plant species within two growing seasons, and prior to said vegetative reestablishment any exposed soil in the replacement area shall be temporarily stabilized to prevent erosion in accordance with standard U.S. Soil Conservation Service methods; and*
7. *the replacement area shall be provided in a manner which is consistent with all other General Performance Standards for each resource area in Part III of 310 CMR 10.00. In the exercise of this discretion, the issuing authority shall consider the magnitude of the alteration and the significance of the project site to the interests identified in M.G.L. c. 131, § 40, the extent to which adverse impacts can be avoided, the extent to which adverse impacts are minimized, and the extent to which mitigation measures, including replication or restoration, are provided to contribute to the protection of the interests identified in M.G.L. c. 131, § 40.*

The Project will permanently impact approximately 8 ft² of the open water portion of a BVW due to installation of 2 FES as part of the culvert replacement. No wetland mitigation is proposed because creation of an 8 ft² mitigation area would result in a significantly larger footprint of disturbance than what is currently proposed. Grading and excavating to create the mitigation area would be required and could result in tree clearing and unnecessary disturbance to the existing BVWs. Additionally, the Project meets the definition of a Limited Project under 310 CMR 10.53(3)(f) and impacts to other resources have been avoided and minimized to the greatest extent practicable.

310 CMR 10.55(4)(c): *Notwithstanding the provisions of 310 CMR 10.55(4)(a), the issuing authority may issue an Order of Conditions permitting work which results in the loss of a portion of BVW when;*

1. *said portion has a surface area less than 500 ft²;*
2. *said portion extends in a distinct linear configuration ("finger-like") into adjacent uplands; and*
3. *in the judgment of the issuing authority it is not reasonable to scale down, redesign or otherwise change the proposed work so that it could be completed without loss of said wetland.*

Not applicable. Although the loss of a portion of BVW is less than 500 ft², said portion does not extend in a distinct linear configuration ("finger-like") into adjacent uplands.

310 CMR 10.55(4)(d): *Notwithstanding the provisions of 310 CMR 10.55(4)(a), (b) and (c), no project may be permitted which will have any adverse effect on specified habitat sites of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.59.*

The Project will permanently impact approximately 8 ft² of BVW within NHESP-designated Estimated Habitats of Rare Wildlife area and Priority Habitats of Rare Species. A streamlined MESA filing is being submitted concurrently with this NOI.

310 CMR 10.55(4)(e): Any proposed work shall not destroy or otherwise impair any portion of a BVW that is within an ACEC designated by the Secretary of Energy and Environmental Affairs under M.G.L. c. 21A, § 2(7) and 301 CMR 12.00: ACECs. 310 CMR 10.55(4)(e):

1. supersedes the provisions of 310 CMR 10.55(4)(b) and (c);
2. shall not apply if the presumption set forth at 310 CMR 10.55(3) is overcome;
3. shall not apply to work proposed under 310 CMR 10.53(3)(l); and
4. shall not apply to maintenance of stormwater detention, retention, or sedimentation ponds, or to maintenance of stormwater energy dissipating structures, that have been constructed in accordance with a valid order of conditions.

Not applicable. The Project is not located within an ACEC.

5.2 Hamilton Conservation Bylaw

- **BVW (Chapter 17, Section 7, Subsection B)**

The bylaw does not outline performance standards associated with BVWs. However, the bylaw stipulates that:

“To prevent resource area loss, the Commission shall require applicants to avoid alteration wherever feasible; to minimize alteration; and, where alteration is unavoidable and has been minimized, to provide full mitigation.”

As discussed above, no wetland mitigation is proposed because creation of an 8 ft² mitigation area would result in a significantly larger footprint of disturbance than what is currently proposed. Grading and excavating to create the mitigation area would be required and could result in tree clearing and unnecessary disturbance to the existing BVWs. Additionally, the Project meets the definition of a Limited Project under 310 CMR 10.53(3)(f) and impacts to other resources have been avoided and minimized to the greatest extent practicable.

- **Associated Upland Resource Area (“AURA”) (Chapter 17, Section 7, Subsection C)**

The bylaw does not outline performance standards associated with AURAs. However, the bylaw stipulates that:

“In reviewing activities within the AURA, the Commission shall presume the AURA is important in its own right and is important to the protection of other resource areas because activities undertaken in close proximity have a high likelihood of adverse impact, either immediately, as a consequence of construction, or over time, as a consequence of daily operation or existence of the activities. These adverse impacts from construction and use can include, without limitation, erosion, siltation, loss of groundwater recharge, poor water quality, and loss of wildlife habitat. Beyond those provided by this bylaw, the Commission may establish, in its regulations, design specifications, performance standards, and other measures and safeguards, including setbacks, no-disturb areas, no-build areas, and other work limits for protection of such lands, including without limitation strips of continuous, undisturbed vegetative cover, unless the applicant convinces the Commission that the area or part of it may be disturbed without harm to the values protected by this bylaw.”

The Project will not have an adverse impact on the AURA. Erosion and sedimentation controls will be installed between the limit of work (LOW) and all resource areas, significantly reducing the risk of any siltation, erosion, or degradation of water quality. Additionally, the Project is occurring entirely within previously degraded and/or disturbed right-of-way, so no loss of wildlife habitat will occur as part of the Project.

- **Riverfront Area (Chapter 17, Section 7, Subsection E)**

The bylaw does not outline performance standards associated with the Riverfront Area. However, the bylaw stipulates that:

“In reviewing activities within the Riverfront Area, the Commission shall presume the Riverfront Area is important to all the resource area values unless demonstrated otherwise, and no permit issued hereunder shall permit any activities unless the applicant, in addition to meeting the otherwise applicable requirements of this bylaw, has proved by a preponderance of the evidence that (1) there is no practicable alternative to the proposed project with less adverse effects, and that (2) such activities, including proposed mitigation measures, will have no significant adverse impact on the areas or values protected by this bylaw. The Commission shall regard as practicable an alternative which is reasonably available and capable of being done after taking into consideration the proposed property use, overall project purpose (e.g., residential, institutional, commercial, or industrial), logistics, existing technology, costs of the alternatives, and overall project costs.”

The Project will not have an adverse impact on the Riverfront Area. The Project is occurring entirely within previously degraded and/or disturbed right-of-way, and erosion and sedimentation controls will be installed between the limit of work (LOW) and all resource areas.

6. Compliance with Massachusetts Stormwater Policy

In 1996, the Massachusetts Department of Environmental Protection (MassDEP) issued the Stormwater Policy that established Stormwater Management Standards aimed at encouraging recharge and preventing stormwater discharges from causing or contributing to the pollution of the surface waters and groundwaters of the Commonwealth. In 1997, MassDEP published the Massachusetts Stormwater Handbook as guidance on the Stormwater Policy. MassDEP has revised the Stormwater Management Standards and Massachusetts Stormwater Handbook to promote increased stormwater recharge, the treatment of more runoff from polluting land uses, low impact development (LID) techniques, pollution prevention, the removal of illicit discharges to stormwater management systems, and improved operation and maintenance of stormwater best management practices (BMPs). MassDEP applies the Stormwater Management Standards pursuant to its authority under the WPA and the Massachusetts Clean Waters Act, M.G.L. c. 21, §§ 26-53. The revised Stormwater Management Standards have been incorporated in the WPA Regulations, 310 CMR 10.05(6)(k) and the Water Quality Certification Regulations, 314 CMR 9.06(6)(a). As the Project is designed to improve the existing drainage systems and stormwater management, the Project qualifies as a “Redevelopment Project” under Volume 1, Chapter 1 of the Massachusetts Stormwater Handbook. As such, the Project is only subject to Standards 2, 3, 4, 5, and 6 to the maximum extent practicable.

Standard 1: No New Untreated Discharges or Erosion to Wetlands (Not Applicable)

The Project does not include the construction of any new stormwater conveyances.

Standard 2: Peak Rate Attenuation (Not Applicable)

The Project does not include the construction of a new stormwater management system, and there will be no increase in post-development peak discharge rates.

Standard 3: Stormwater Recharge (Fully Met)

The Project will not result in an increase in impervious cover.

Standard 4: Water Quality (Not Applicable)

No changes to TSS removal are proposed.

Standard 5: Land Uses with Higher Potential Pollutant Loads (Not Applicable)

Not applicable. None of the land uses within the Site have higher potential pollutant loads.

Standard 6: Critical Areas (Not Applicable)

A portion of the Project is located within a Zone II Wellhead Protection Area associated with the Ipswich Department of Public Utilities Water Department. However, the Project does not include any stormwater discharges.

Standard 7: Redevelopment Projects (Fully Met)

This project qualifies as a Redevelopment Project under Volume 1, Chapter 1 of the Massachusetts Stormwater Handbook and as described above.

Standard 8: Construction Period Pollution Prevention, Erosion/Sedimentation Controls (Fully Met)

The Project fully complies with Standard 8. Erosion control measures will be used as part of the Project and are shown in **Appendix B**.

Standard 9: Operation and Maintenance Plan (Fully Met)

Erosion control measures will be used as part of the Project and are shown in **Appendix B**.

Standard 10: Prohibition of Illicit Discharges (Fully Met)

The Applicant is not aware of any illicit discharges and will identify any suspect connections observed during construction. No proposed work or subsequent maintenance will include illicit connections to the existing stormwater system.

7. Summary

The Project will result in temporary and permanent impacts to jurisdictional wetland resource areas. However, all areas within BLSF, Riverfront Area, and the AURA will be restored to pre-construction conditions following conclusion of the Project, and appropriate erosion and sediment controls will be implemented during construction. Permanent impacts to BVW are marginal, and creation of a mitigation area would result in a significantly larger footprint of disturbance than what is currently proposed. Therefore, DCR respectfully requests that the Hamilton Conservation Commission find that these measures are adequately protective of the interests identified in the WPA and the bylaw and issue an Order of Conditions approving the work shown on the accompanying Site Plans.

Appendix A – Figures



Legend

— Site

**Figure 1 - USGS Topographic Map
Pavement Resurfacing at Bradley Palmer State Park
Hamilton, MA**

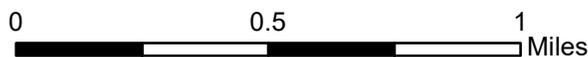
Prepared for:



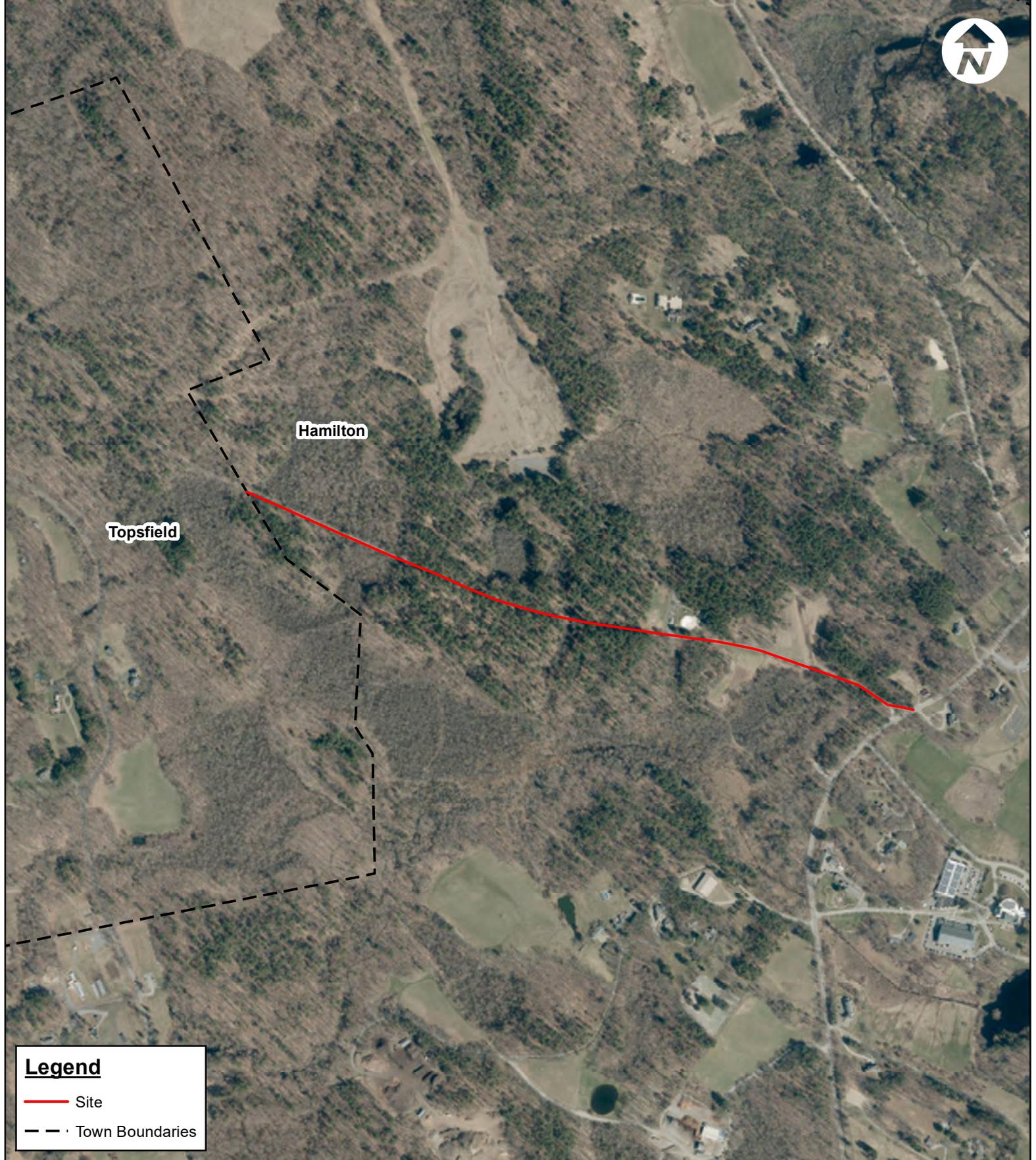
Prepared by:



January 2025



Notes: Projection is in Massachusetts State Plane (ft) NAD 1983.



Legend

- Site
- Town Boundaries



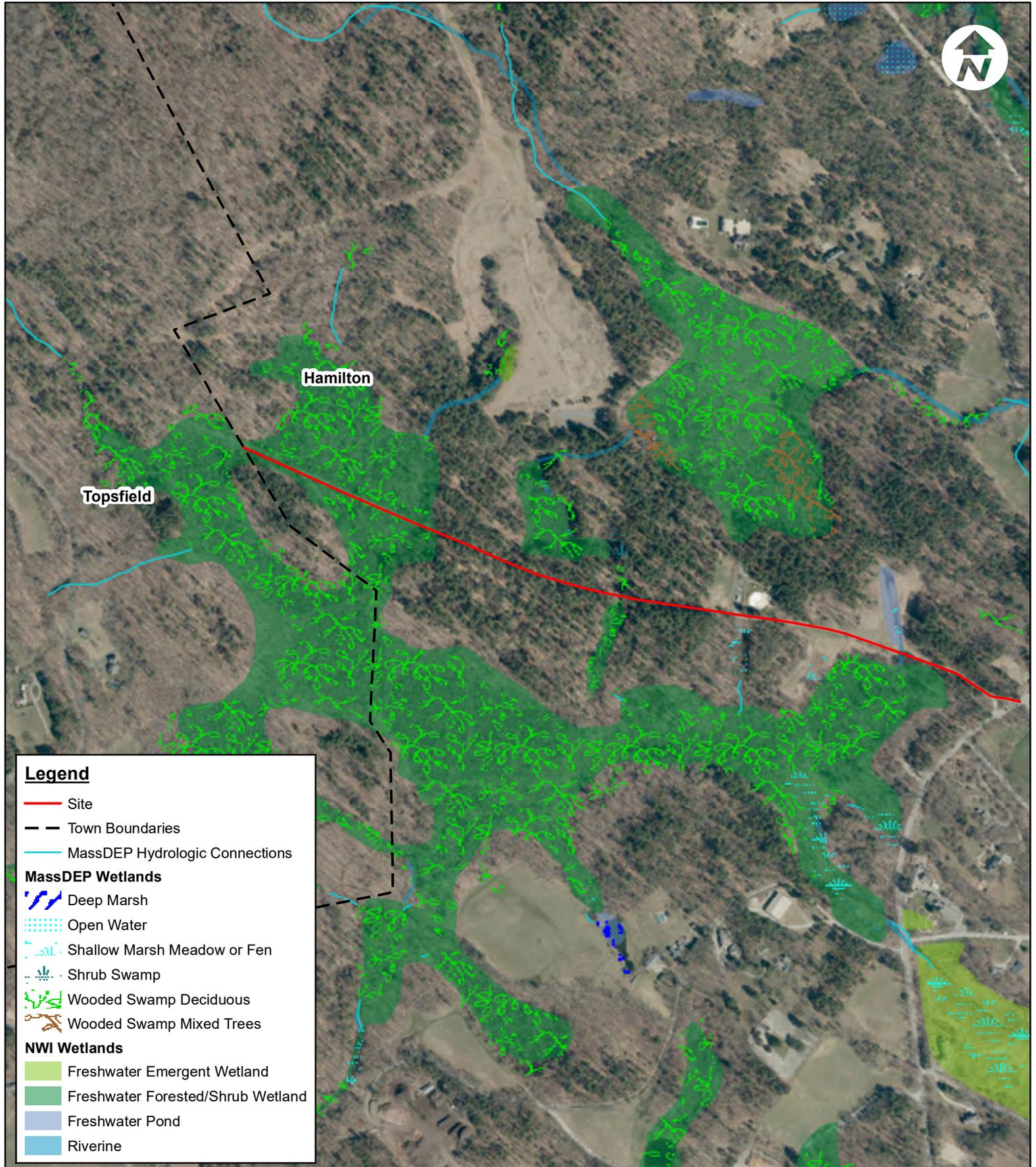
Figure 2 - Aerial Map
Pavement Resurfacing at Bradley Palmer State Park
 Hamilton, MA



Notes: Projection is in Massachusetts State Plane (ft) NAD 1983.

Prepared for:

 Prepared by:
AECOM
 January 2025



Legend

- Site
- Town Boundaries
- MassDEP Hydrologic Connections
- MassDEP Wetlands**
- Deep Marsh
- Open Water
- Shallow Marsh Meadow or Fen
- Shrub Swamp
- Wooded Swamp Deciduous
- Wooded Swamp Mixed Trees
- NWI Wetlands**
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Riverine

Locus Map
1 in = 100 miles



Figure 3 - Wetlands Map
Pavement Resurfacing at Bradley Palmer State Park
Hamilton, MA



Notes: Projection is in Massachusetts State Plane (ft) NAD 1983.

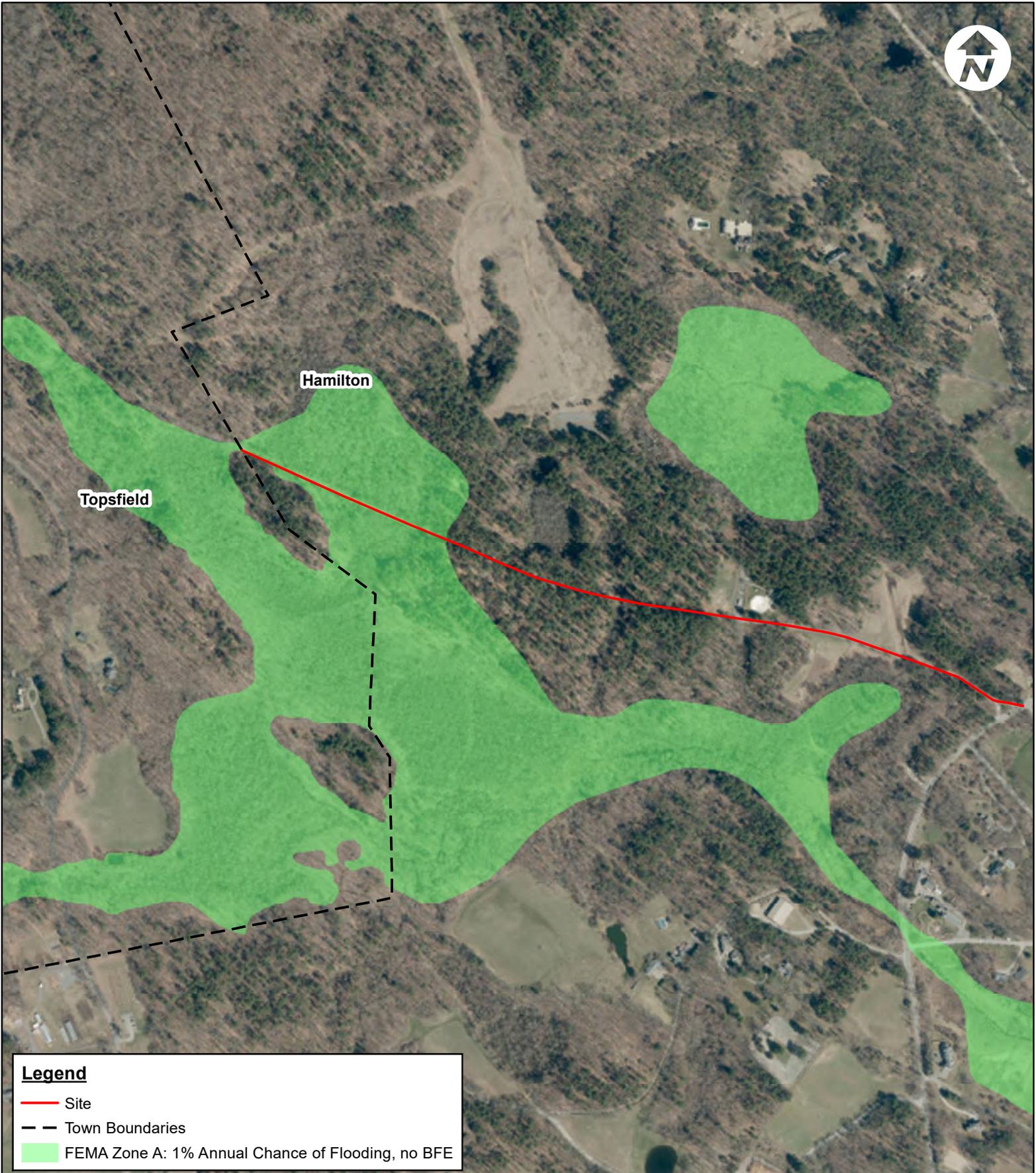
Prepared for:



Prepared by:



January 2025



Legend

- Site
- Town Boundaries
- FEMA Zone A: 1% Annual Chance of Flooding, no BFE

Locus Map
1 in = 100 miles



Figure 4 - FEMA Map
Pavement Resurfacing at Bradley Palmer State Park
 Hamilton, MA



Notes: Projection is in Massachusetts State Plane (ft) NAD 1983.

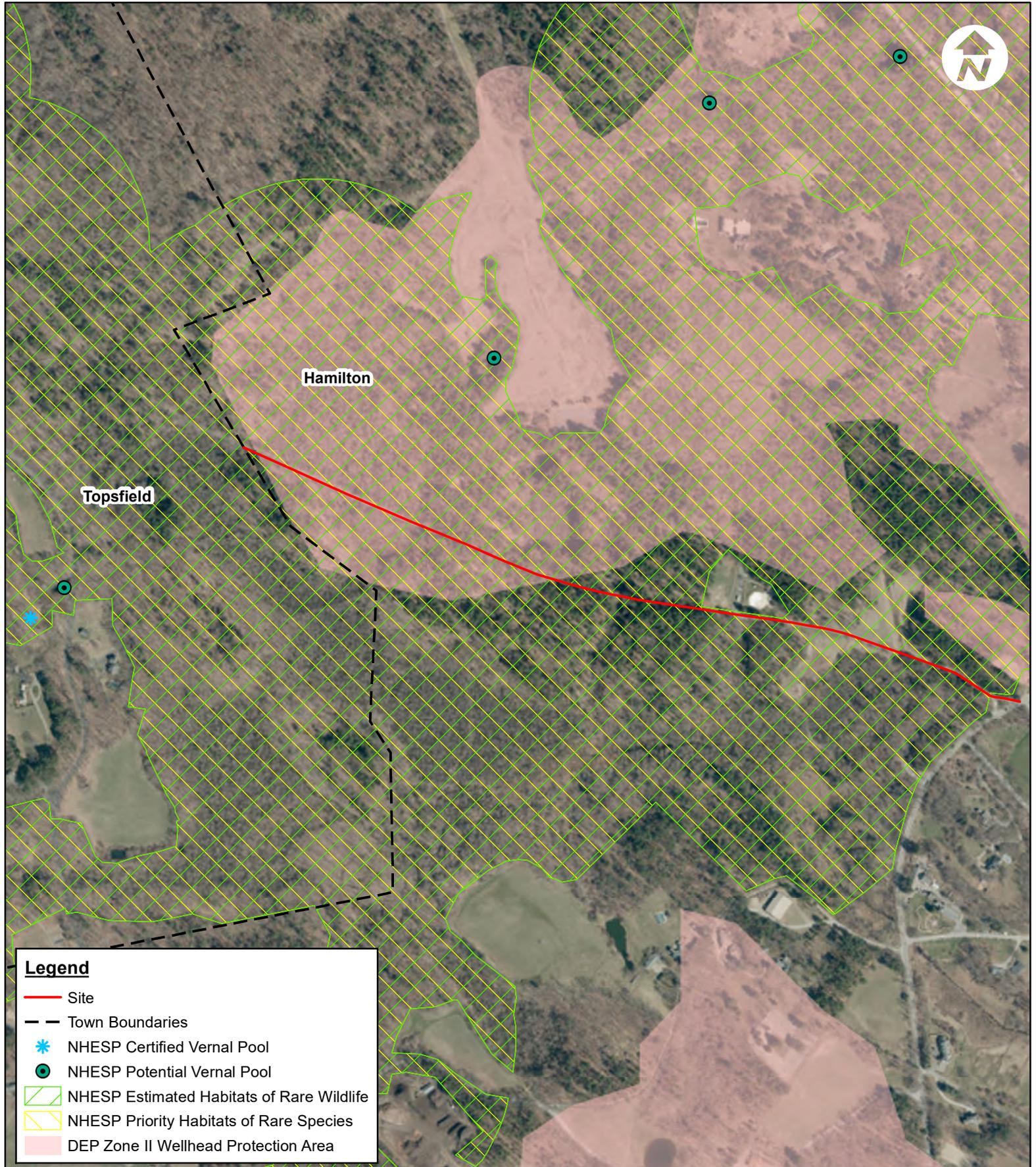
Prepared for:



Prepared by:



January 2025



Legend

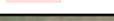
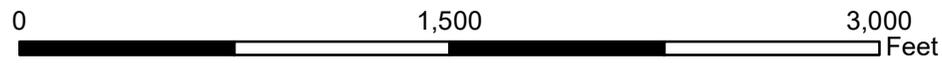
-  Site
-  Town Boundaries
-  NHESP Certified Vernal Pool
-  NHESP Potential Vernal Pool
-  NHESP Estimated Habitats of Rare Wildlife
-  NHESP Priority Habitats of Rare Species
-  DEP Zone II Wellhead Protection Area



Figure 5 - NHESP & Others Map
Pavement Resurfacing at Bradley Palmer State Park
 Hamilton, MA



Notes: Projection is in Massachusetts State Plane (ft) NAD 1983.

Prepared for:



Prepared by:



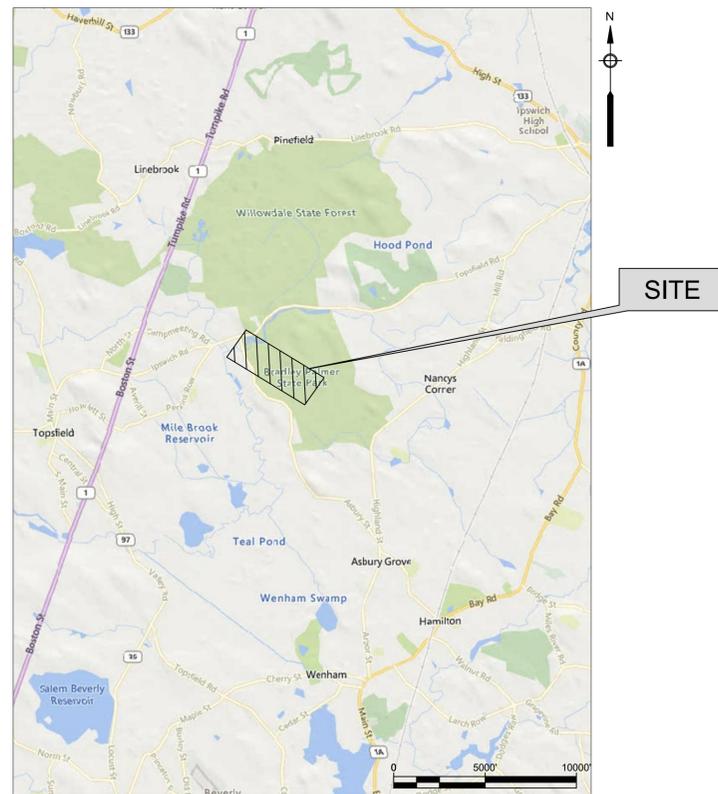
January 2025

Appendix B – Site Plans

BRADLEY PALMER PAVEMENT RESURFACING MAINTENANCE AND REPAIR HAMILTON, MASSACHUSETTS

ISSUED FOR PERMIT

SHEET NO.	TITLE
T-01	COVER SHEET
GN-01	GENERAL NOTES
V-01	KEY PLAN SHEETS
SP-01 - SP-07	EXISTING CONDITIONS & SITE PREPARATION PLAN SHEETS
R-01 - R-07	RESTORATION PLAN SHEETS
D-01 - D-02	DETAIL PLAN SHEETS



SITE LOCATION

AECOM
250 APOLLO DRIVE
CHELMSFORD, MA 01824



Date: 10-29-2024

RANDALL TWISS, P.E.
MAPE Lic. No. 50236

ENGINEER'S CERTIFICATION:

THE UNDERSIGNED HEREBY CERTIFIES THIS PLAN TO BE AN APPROPRIATE REPRESENTATION OF THE PROPOSED SITE FEATURES. THE COMPLIANCE OF THE IMPLEMENTATION OF CONTRACT WORK IS THE CONTRACTOR'S SOLE RESPONSIBILITY.

NOTE:
THIS SET OF DRAWINGS DEPICTS INFORMATION USING DIFFERENT COLORS IN ADDITION TO VARIOUS LINES, SYMBOLS AND TEXT. USER IS CAUTIONED THAT ONLY COLOR DRAWINGS WILL CONVEY THE COMPLETE PROJECT INFORMATION. IMPORTANT INFORMATION WILL NOT BE EVIDENT ON BLACK AND WHITE/GRAYSCALE DRAWINGS DUE TO LACK OF COLOR.

OWNER

MASSACHUSETTS DEPARTMENT
OF CONSERVATION AND RECREATION
251 CASUEWAY STREET, 9TH FLOOR
BOSTON, MA 02114
www.mass.parks@mass.gov

ENGINEER

AECOM
250 APOLLO DRIVE
CHELMSFORD, MA 01824
978-905-2100

PROJECT

BRADLEY PALMER
DRAINAGE INFRASTRUCTURE
MAINTENANCE & REPAIRS
 MASSACHUSETTS DEPARTMENT OF
 CONSERVATION AND RECREATION
 HAMILTON, MA

CLIENT

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 BOSTON, MA 02116

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 www.aecom.com

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60687346

SHEET TITLE

KEY PLAN

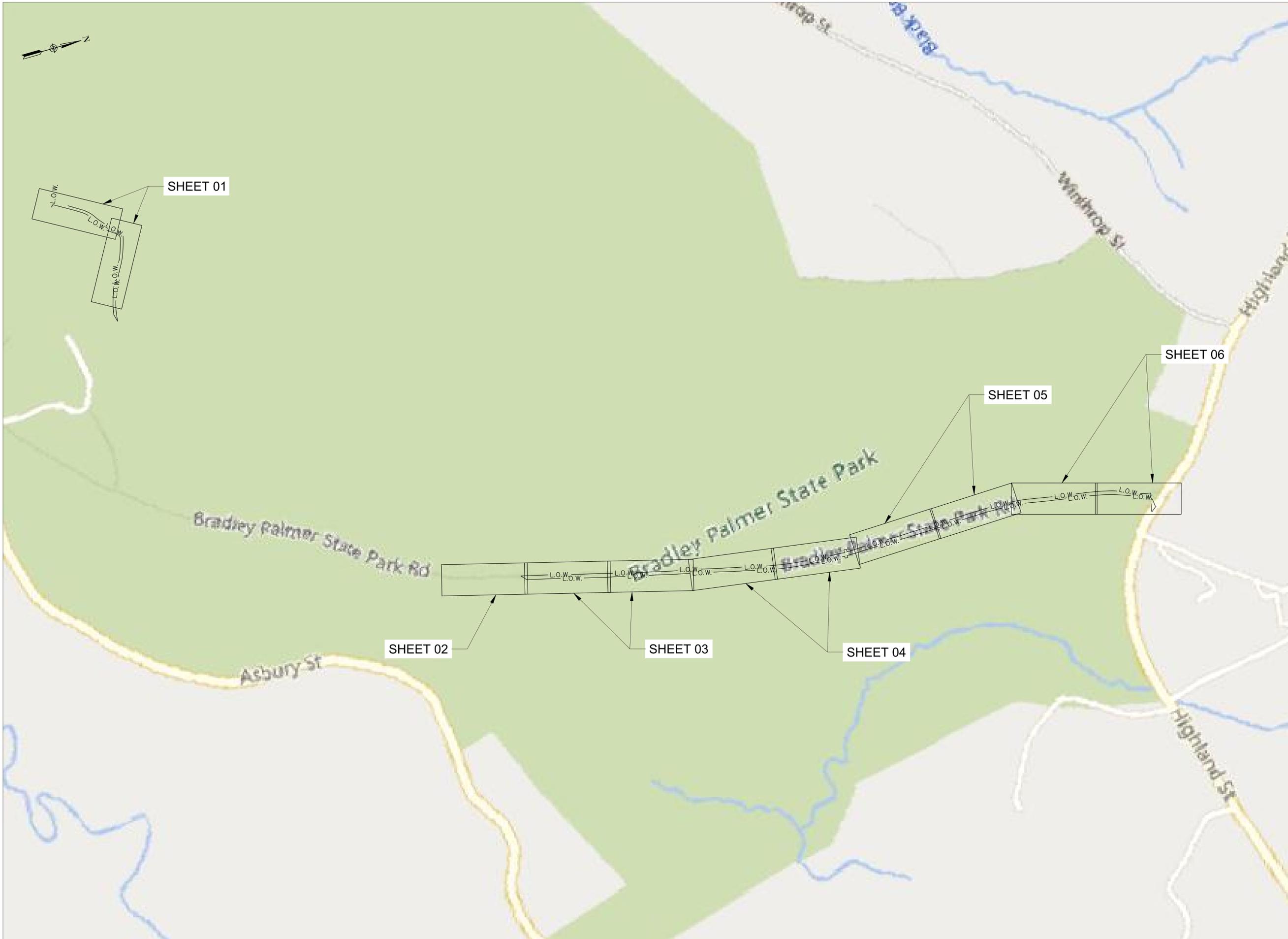
SHEET 01 OF 01

PAGE 03 OF 19

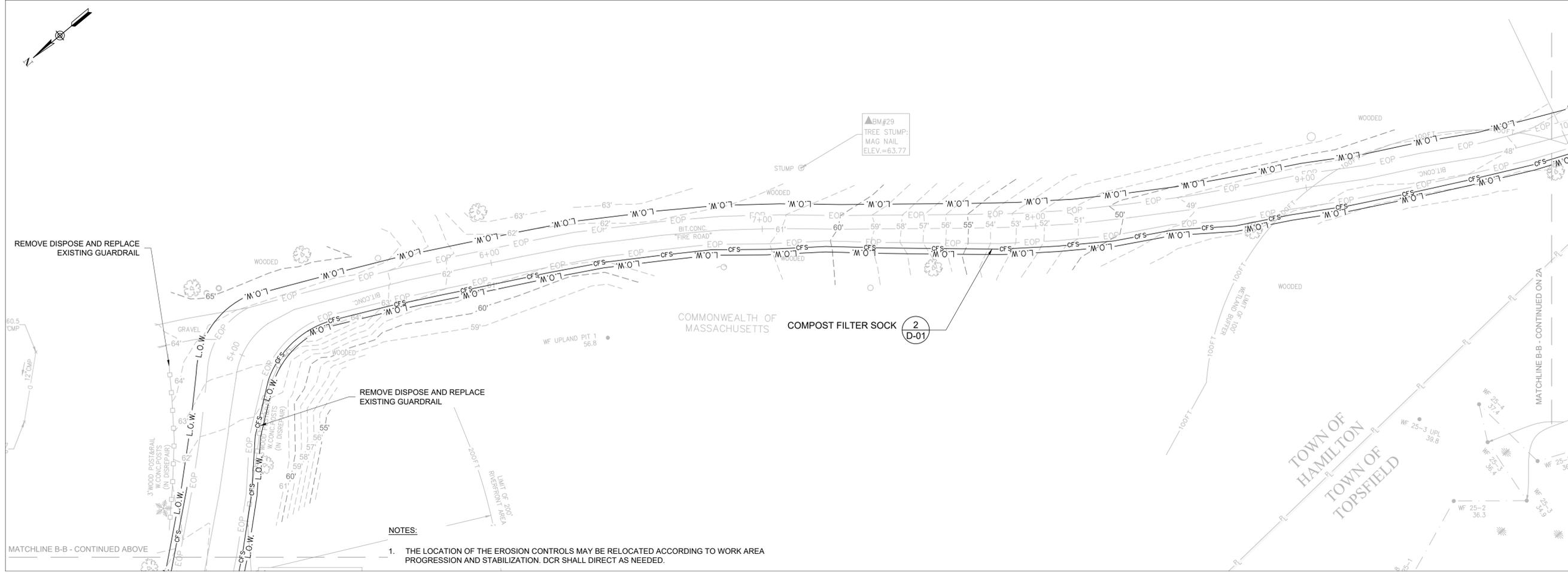
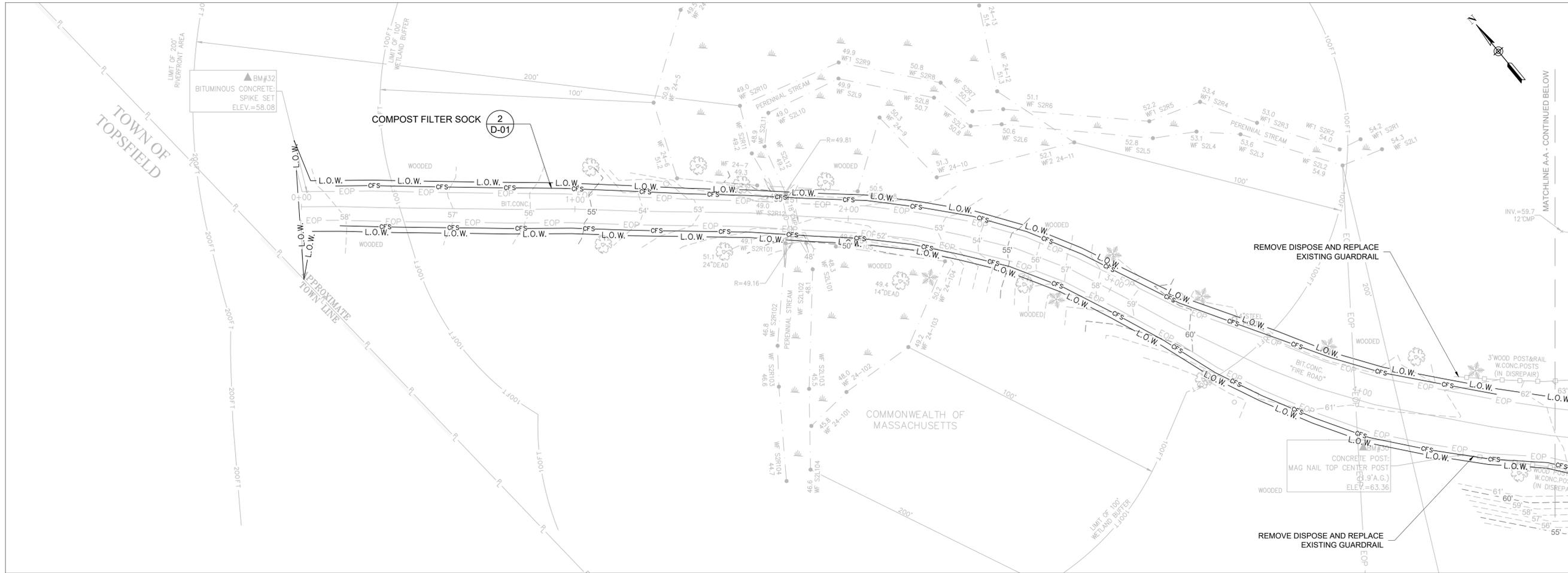
SHEET NUMBER

V-01

Project Management Initials: Designer: APR Checked: RT Approved: RT ANS/D 22' x 34'



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- NOTES:**
1. THE LOCATION OF THE EROSION CONTROLS MAY BE RELOCATED ACCORDING TO WORK AREA PROGRESSION AND STABILIZATION. DCR SHALL DIRECT AS NEEDED.



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SHEET TITLE
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 PREPARATION PLAN
 SHEET 01 OF 07
 PAGE 04 OF 19
SHEET NUMBER

SP-01

PROJECT

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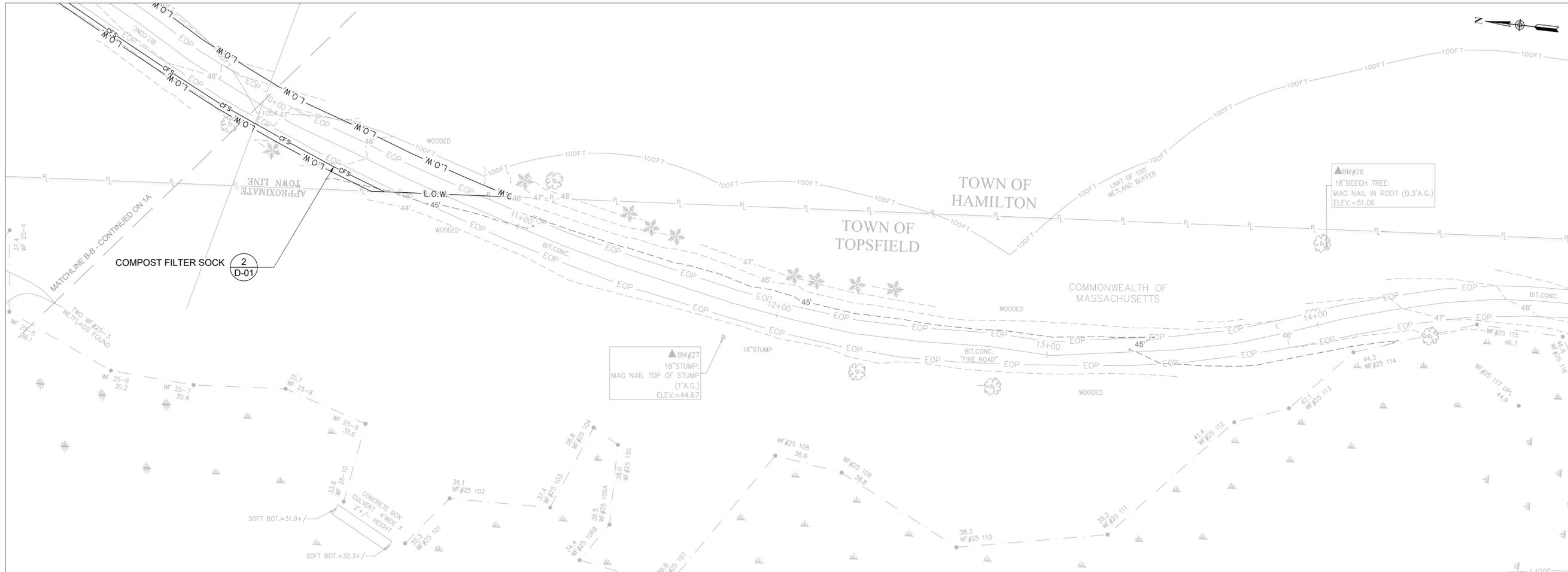
60687346

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EXISTING CONDITIONS AND SITE
 PREPARATION PLAN
 SHEET 02 OF 07
 PAGE 05 OF 19

SHEET NUMBER

SP-02



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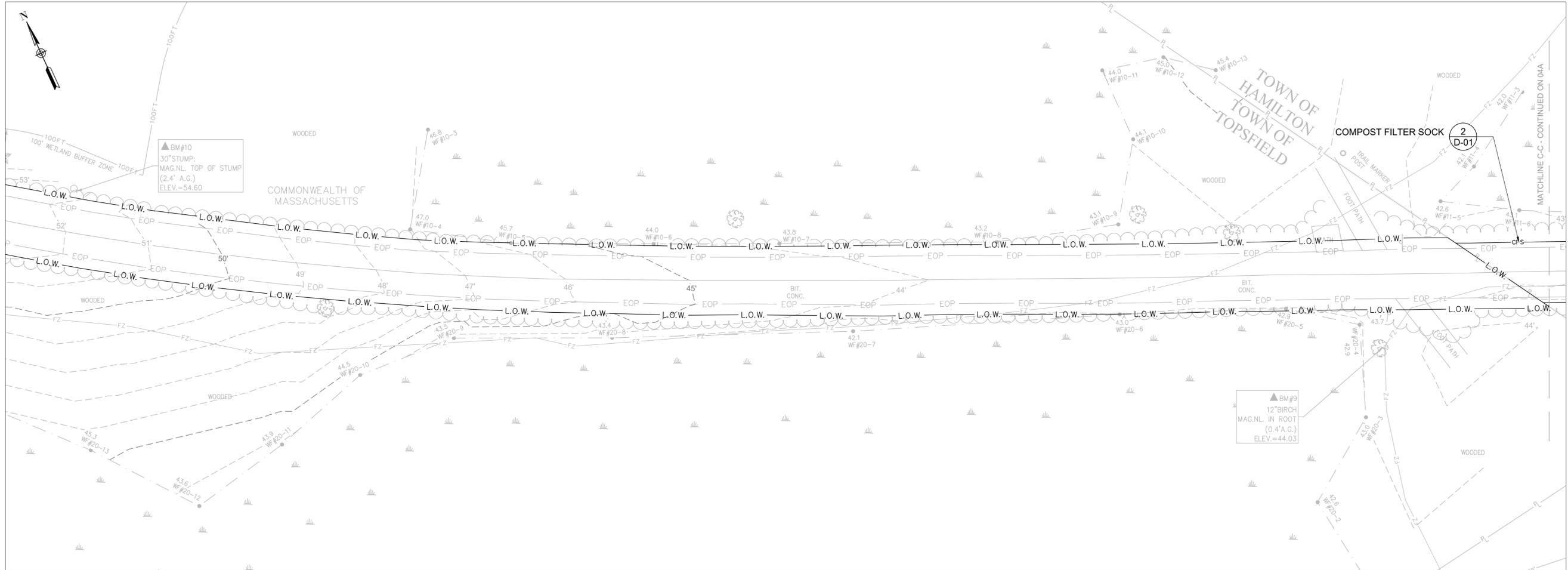
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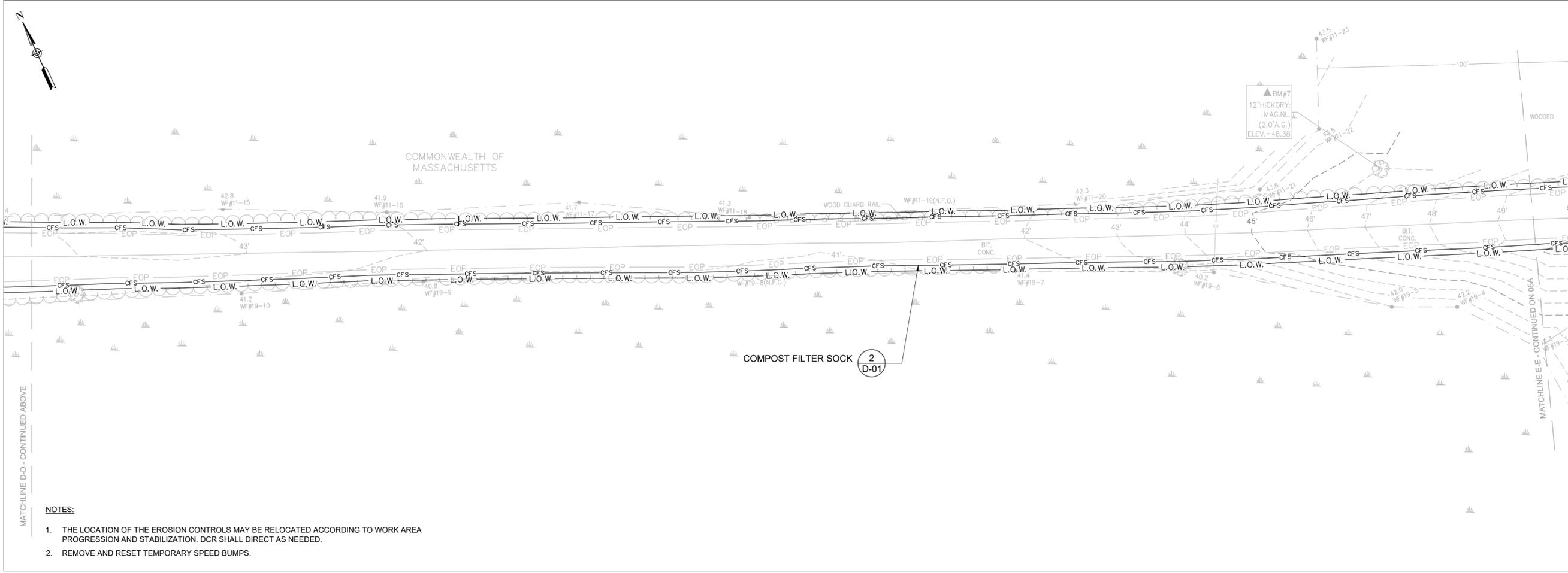
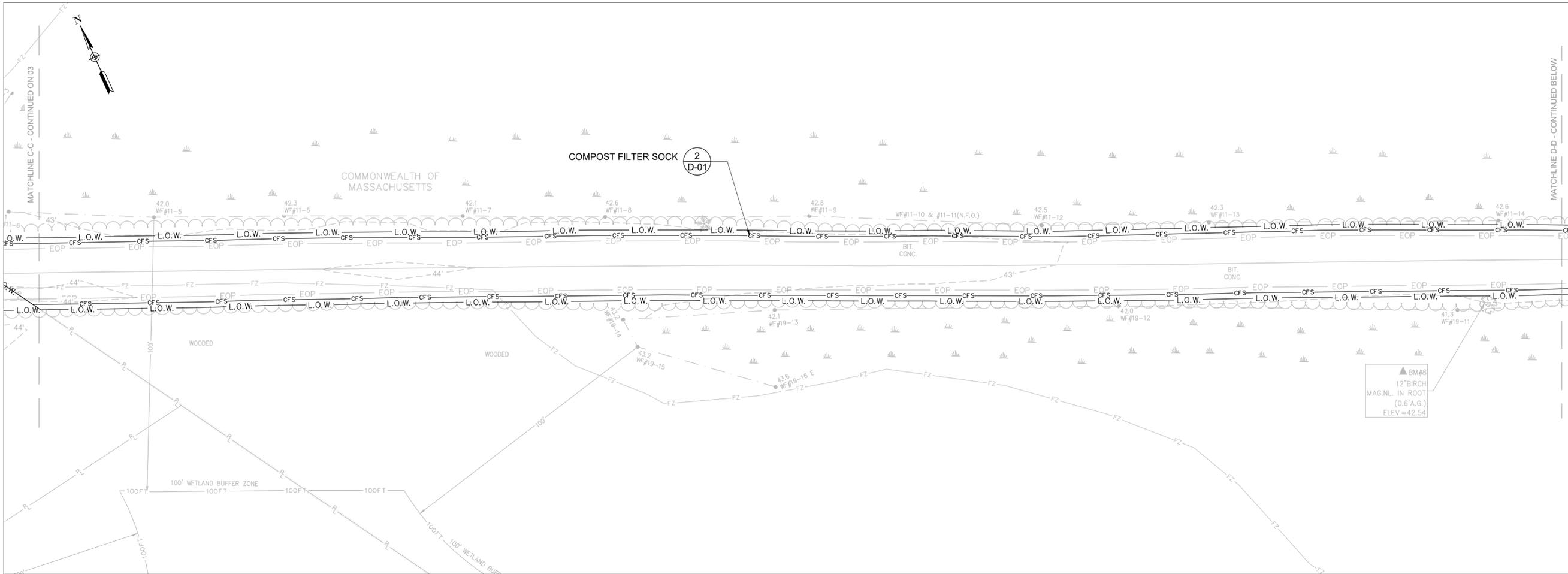
EXISTING CONDITIONS AND SITE
 PREPARATION PLAN
 SHEET 03 OF 07
 PAGE 06 OF 19
SHEET NUMBER

SP-03



NOTES:

- THE LOCATION OF THE EROSION CONTROLS MAY BE RELOCATED ACCORDING TO WORK AREA PROGRESSION AND STABILIZATION. DCR SHALL DIRECT AS NEEDED.
- REMOVE AND RESET TEMPORARY SPEED BUMPS.



- NOTES:**
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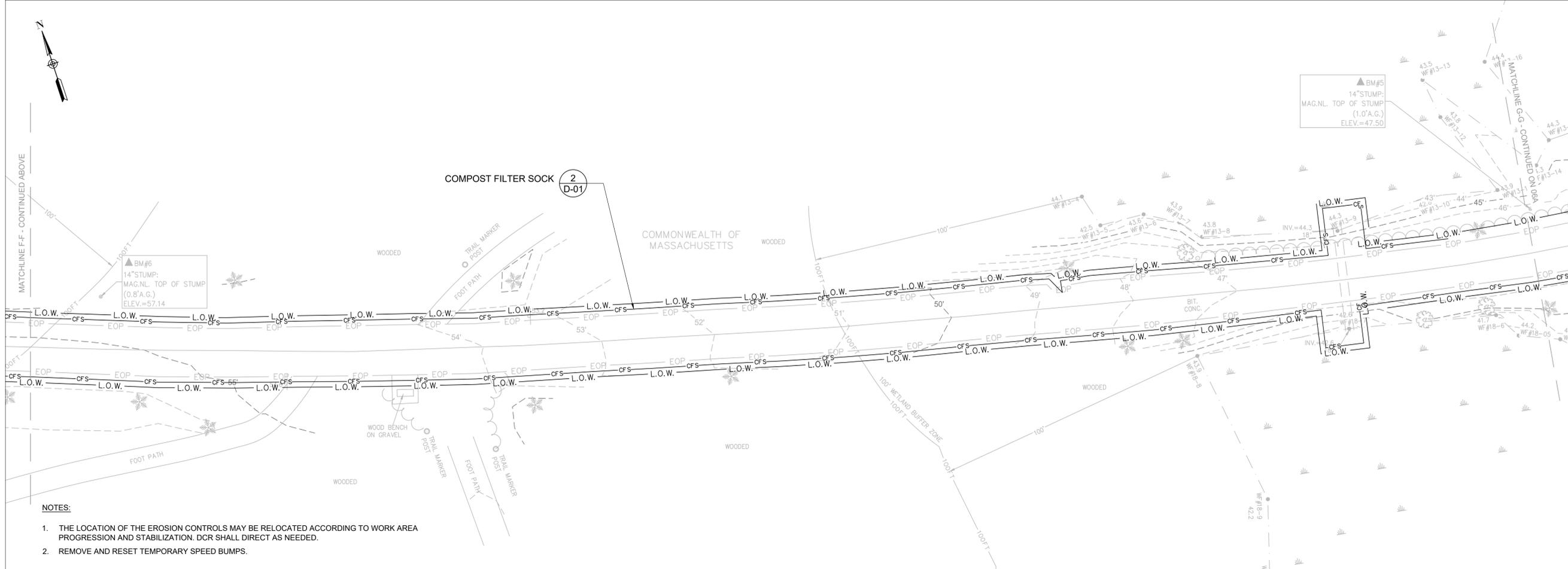
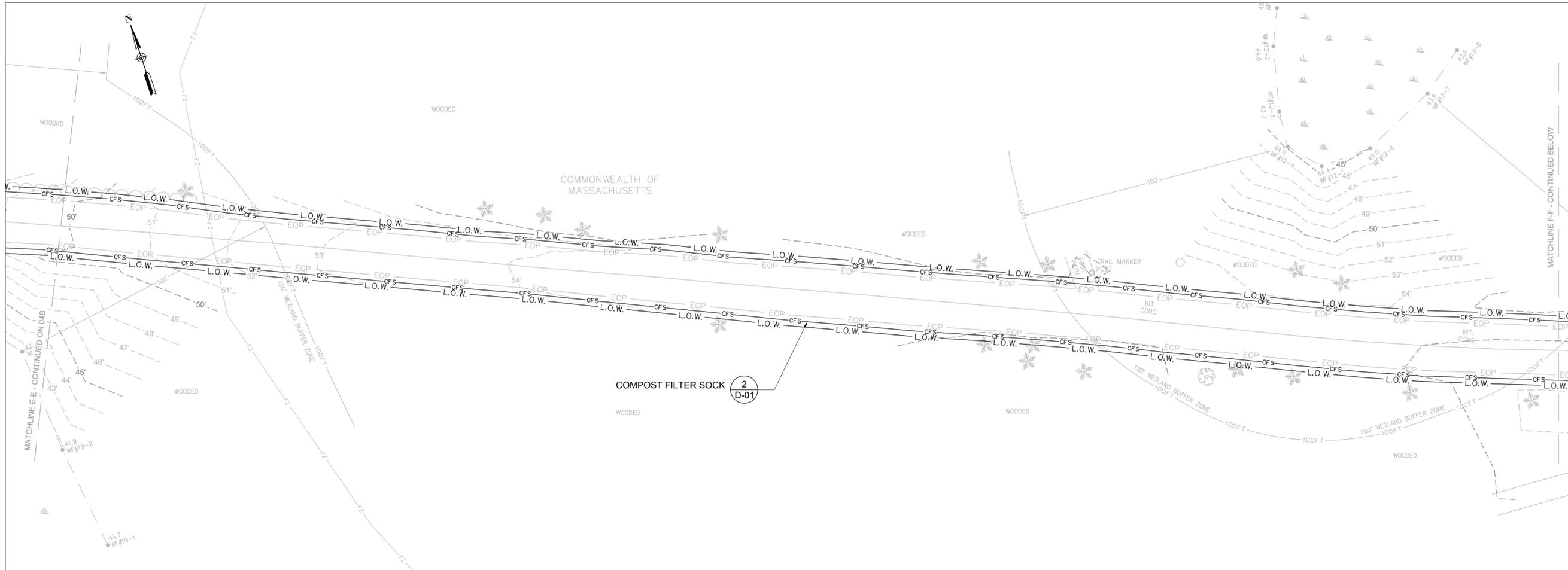
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60687346

SHEET TITLE
 EXISTING CONDITIONS AND SITE
 PREPARATION PLAN
 SHEET 04 OF 07
 PAGE 07 OF 19
SHEET NUMBER

SP-04



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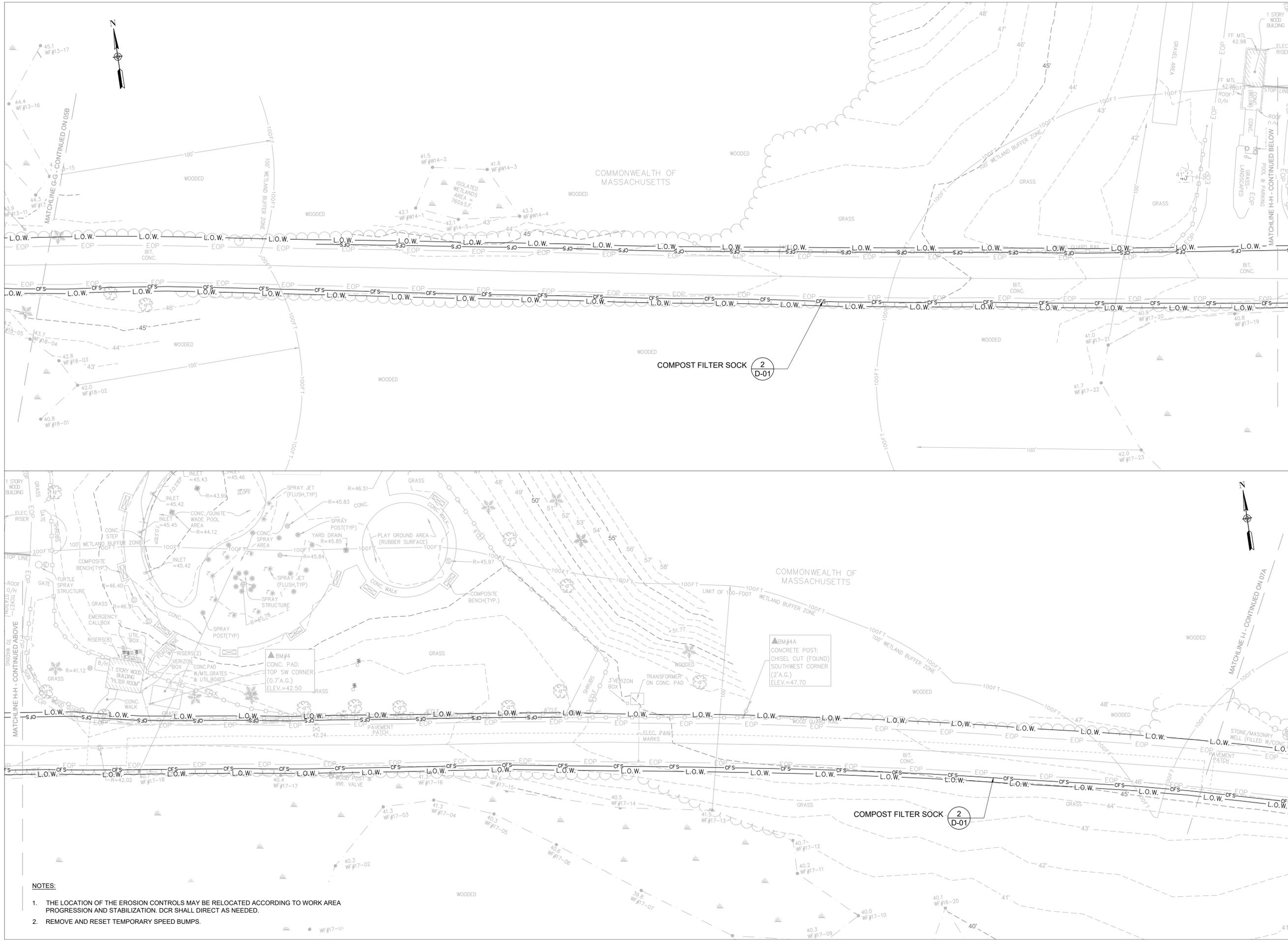
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 EXISTING CONDITIONS AND SITE
 PREPARATION PLAN
 SHEET 05 OF 07
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SHEET NUMBER

SP-05



PROJECT
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DRAINAGE INFRASTRUCTURE
MAINTENANCE & REPAIRS
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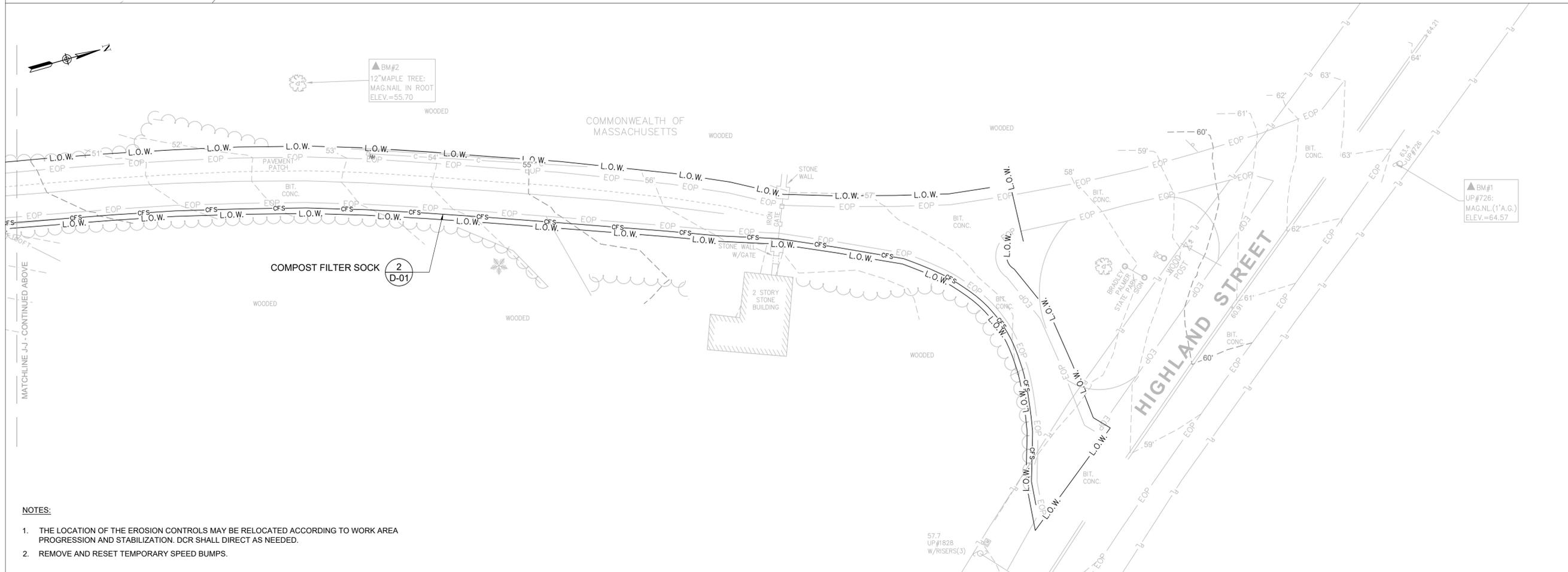
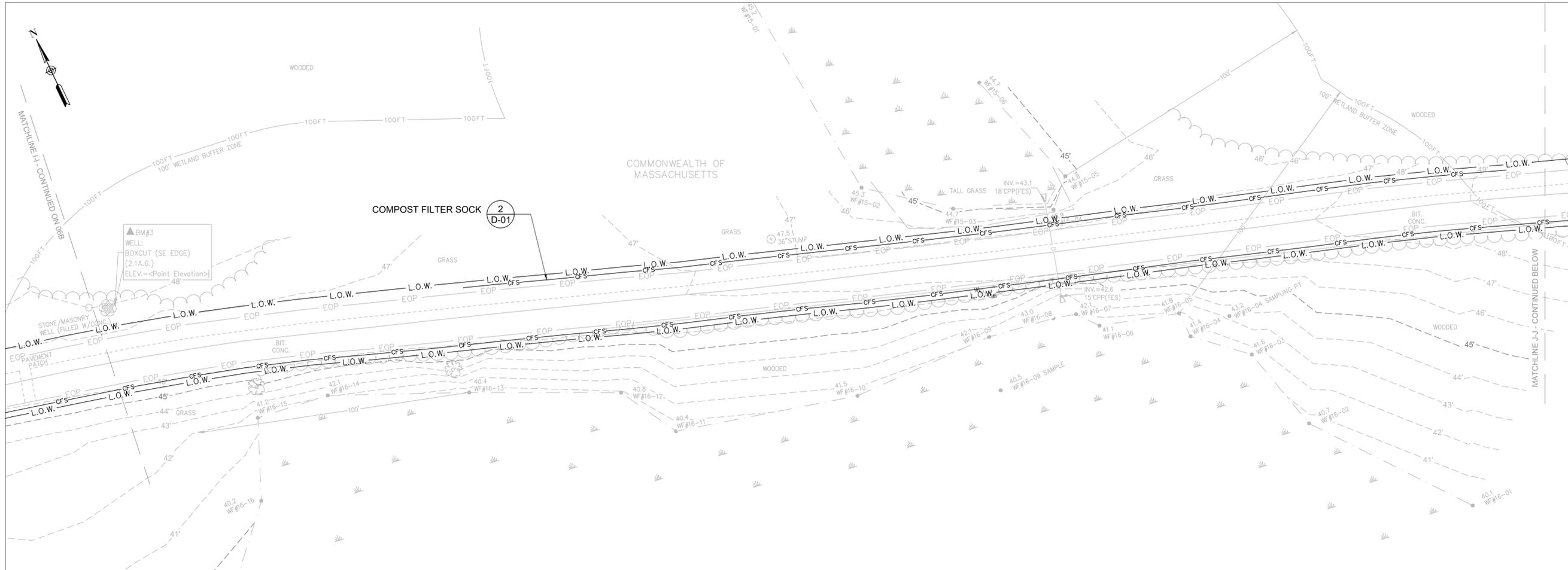
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60687346

SHEET TITLE
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 SHEET 06 OF 07
 PAGE 09 OF 19
SHEET NUMBER

SP-06

- NOTES:**
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 2. REMOVE AND RESET TEMPORARY SPEED BUMPS.



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MAINTENANCE & REPAIRS
 MASSACHUSETTS DEPARTMENT OF
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 EXISTING CONDITIONS AND SITE
 PREPARATION PLAN
 SHEET 07 OF 07
 PAGE 10 OF 19
SHEET NUMBER

SP-07

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PROJECT

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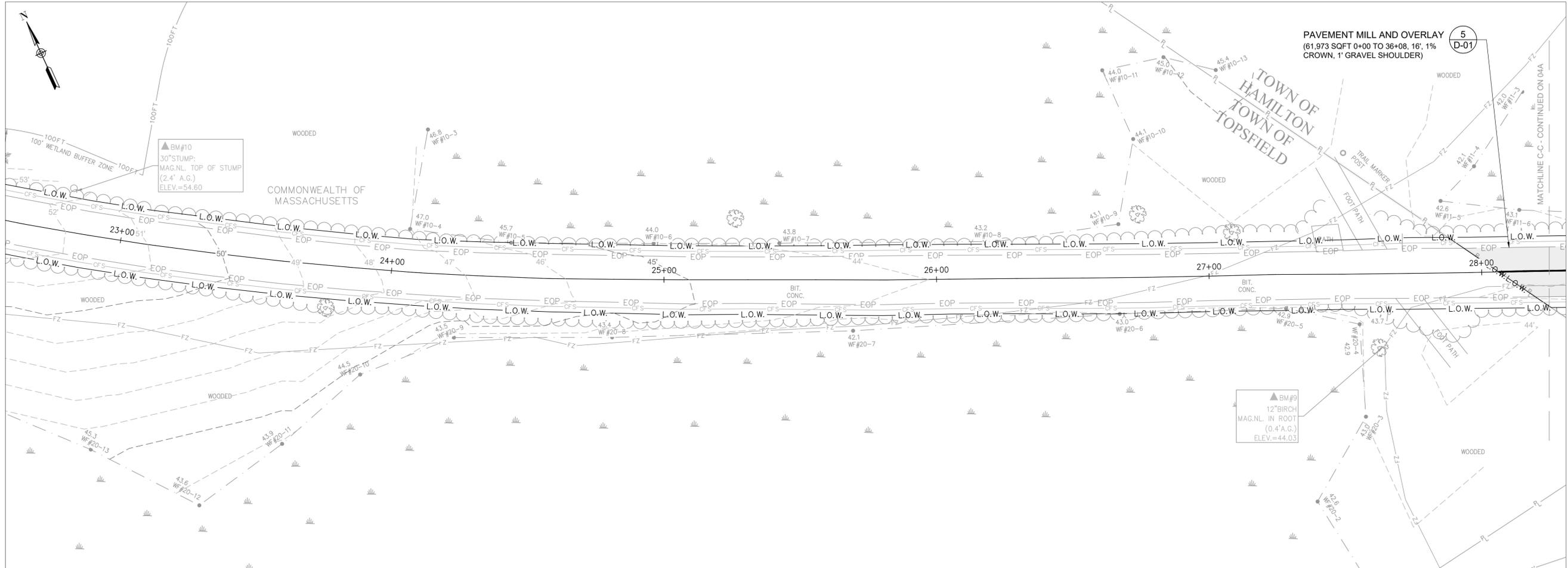
PROJECT NUMBER

60687346

SHEET TITLE

FINAL GRADE AND
 RESTORATION PLAN
 SHEET 03 OF 07
 PAGE 13 OF 19
SHEET NUMBER

R-03



NOTES:

- CONTRACTOR SHALL TEMPORARY MARKING UNTIL PERMANENT MARKING CAN BE INSTALLED.
- CONTRACTOR SHALL PROVIDE MATERIAL LIST AND CUT SHEETS FOR PERMANENT AND TEMPORARY TRAFFIC MARKINGS PRIOR TO START OF WORK.
- ALL MATERIALS SHALL BE CONSISTENT WITH MASSDOT AND MUTCD APPROVED MATERIALS AND DIMENSIONS.
- DCR SHALL APPROVE ALL MARKINGS PRIOR TO INSTALLATION.



Date: 10-29-2024

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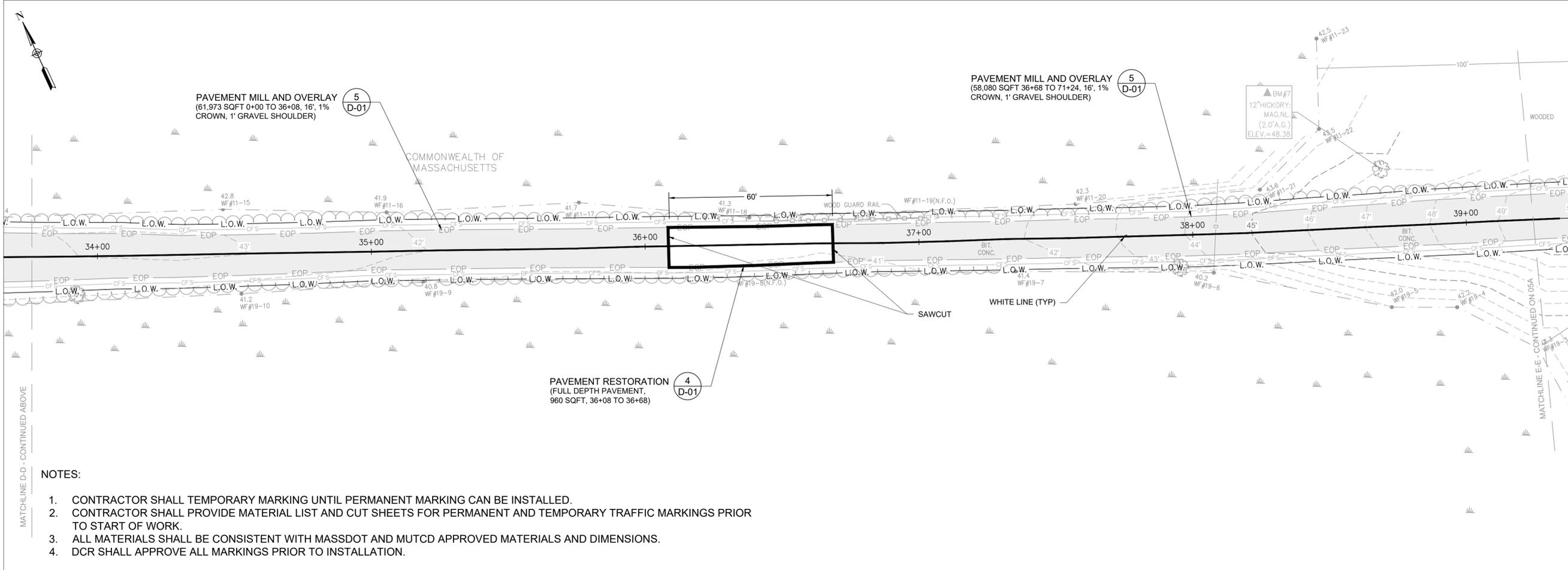
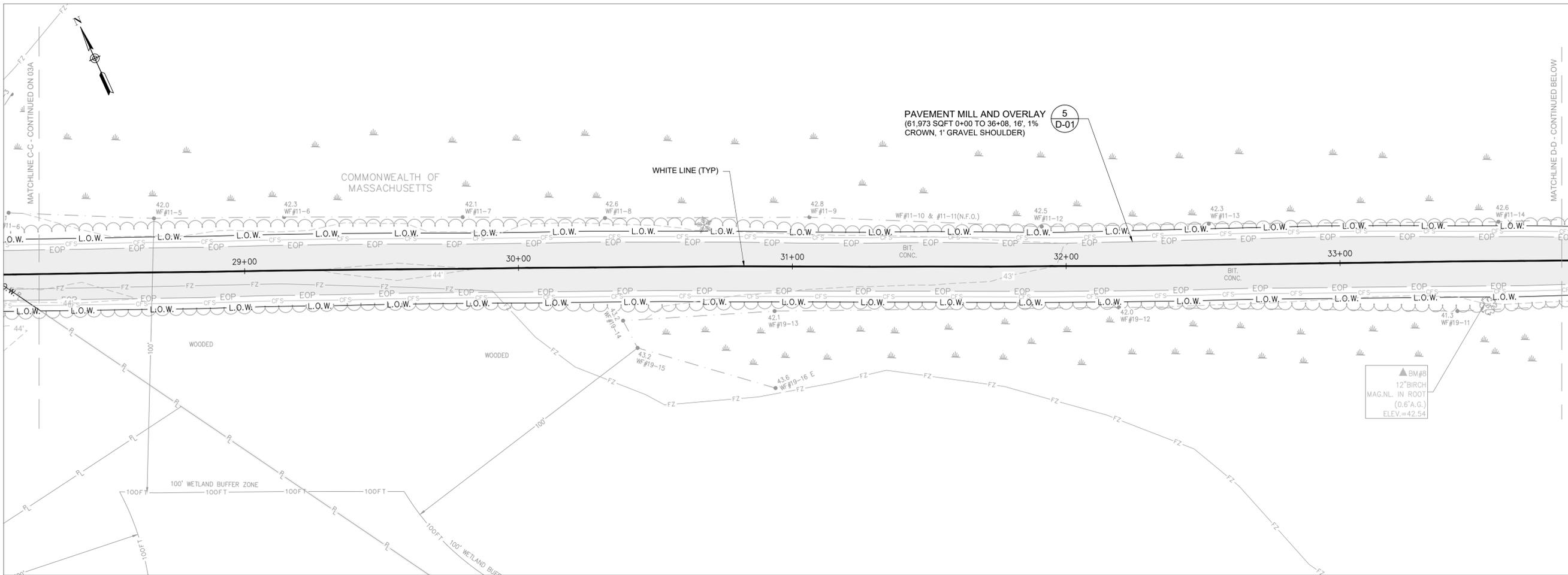
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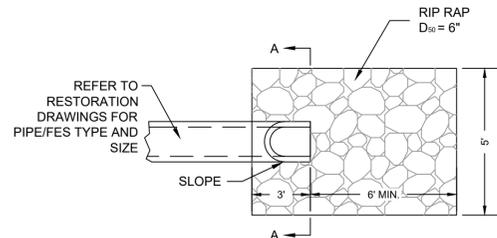
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 FINAL GRADE AND
 RESTORATION PLAN
 SHEET 04 OF 07
 PAGE 14 OF 19
SHEET NUMBER

R-04

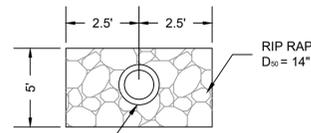


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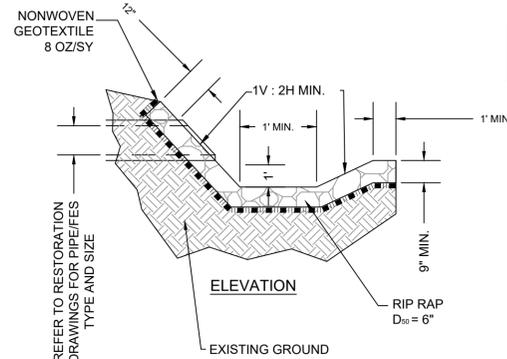
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 Laid out by: ANDREW RICCIARDI (02/27) Last Printed: 2011/02/26
 Plotted by: CURTIS ANDREW RICCIARDI (02/27)



PLAN



SECTION A-A'

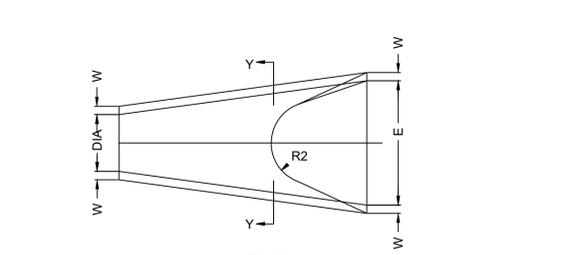


ELEVATION

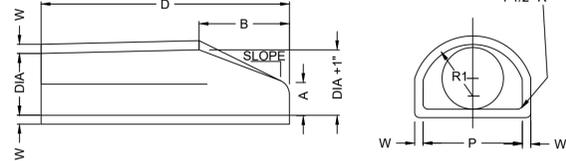
9 PIPE END DETAIL

NTS

* = R-05



PLAN



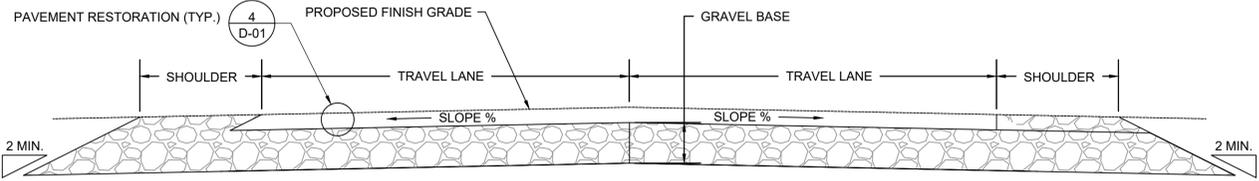
SECTION

SECTION Y-Y

Diameter	W (in)	A (in)	B (in)	D (in)	E (in)	P (in)	DIA. +1 (in)	R1 (in)	R2 (in)	SLOPE
12"	2"	4"	2'-0"	6'-0"	2'-0"	19 15/16"	13"	10 1/8"	9"	1V:3H
24"	3"	9 1/2"	3'-7 1/2"	6'-0"	4'-0"	33 3/16"	25"	16 13/16"	14"	1V:3H

NOTES:

- CORRUGATED HDPE PIPE SHALL BE INSERTED INTO REINFORCED CONCRETE FES A MINIMUM OF 12" AND VOID SPACE SURROUNDING PIPE SHALL BE FILLED WITH MORTAR A MINIMUM OF 6" COLLAR SURROUNDING PIPE PERIMETER INTO AND EXITING FES.



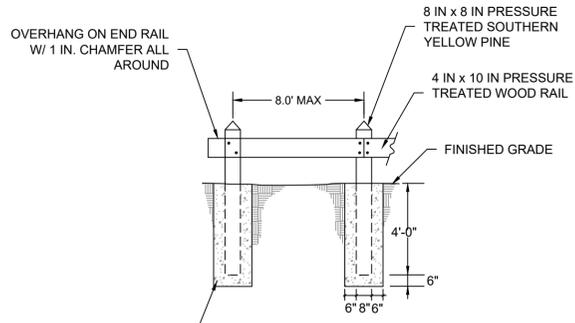
ROADWAY NOTES:

- REFER TO RESTORATION SHEETS FOR:
 - GRAVEL SHOULDER WIDTH (SW)
 - TRAVEL LANE WIDTH (TLW)
 - CROWN SLOPE (CS)

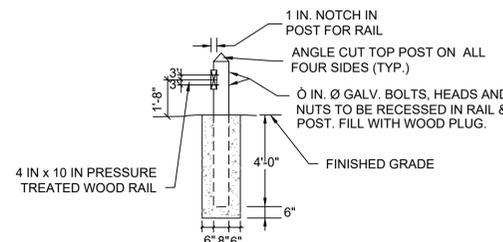
10 ROADWAY SECTION DETAIL

NTS

* = FOR GENERAL USAGE



ELEVATION



SECTION

11 WOOD BEAM GUARDRAIL

NTS

* = R-01

PROJECT

BRADLEY PALMER
DRAINAGE INFRASTRUCTURE
MAINTENANCE & REPAIRS
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HAMILTON, MA

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SHEET TITLE

DETAIL PLAN

SHEET 02 OF 02

PAGE 19 OF 19

SHEET NUMBER

D-02

Appendix C – Stormwater Checklist



Checklist for Stormwater Report

A. Introduction

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A Stormwater Report must be submitted with the Notice of Intent permit application to document compliance with the Stormwater Management Standards. The following checklist is NOT a substitute for the Stormwater Report (which should provide more substantive and detailed information) but is offered here as a tool to help the applicant organize their Stormwater Management documentation for their Report and for the reviewer to assess this information in a consistent format. As noted in the Checklist, the Stormwater Report must contain the engineering computations and supporting information set forth in Volume 3 of the [Massachusetts Stormwater Handbook](#). The Stormwater Report must be prepared and certified by a Registered Professional Engineer (RPE) licensed in the Commonwealth.

The Stormwater Report must include:

- The Stormwater Checklist completed and stamped by a Registered Professional Engineer (see page 2) that certifies that the Stormwater Report contains all required submittals.¹ This Checklist is to be used as the cover for the completed Stormwater Report.
- Applicant/Project Name
- Project Address
- Name of Firm and Registered Professional Engineer that prepared the Report
- Long-Term Pollution Prevention Plan required by Standards 4-6
- Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan required by Standard 8²
- Operation and Maintenance Plan required by Standard 9

In addition to all plans and supporting information, the Stormwater Report must include a brief narrative describing stormwater management practices, including environmentally sensitive site design and LID techniques, along with a diagram depicting runoff through the proposed BMP treatment train. Plans are required to show existing and proposed conditions, identify all wetland resource areas, NRCS soil types, critical areas, Land Uses with Higher Potential Pollutant Loads (LUHPPL), and any areas on the site where infiltration rate is greater than 2.4 inches per hour. The Plans shall identify the drainage areas for both existing and proposed conditions at a scale that enables verification of supporting calculations.

As noted in the Checklist, the Stormwater Management Report shall document compliance with each of the Stormwater Management Standards as provided in the [Massachusetts Stormwater Handbook](#). The soils evaluation and calculations shall be done using the methodologies set forth in Volume 3 of the [Massachusetts Stormwater Handbook](#).

To ensure that the Stormwater Report is complete, applicants are required to fill in the Stormwater Report Checklist by checking the box to indicate that the specified information has been included in the Stormwater Report. If any of the information specified in the checklist has not been submitted, the applicant must provide an explanation. The completed Stormwater Report Checklist and Certification must be submitted with the Stormwater Report.

¹ The Stormwater Report may also include the Illicit Discharge Compliance Statement required by Standard 10. If not included in the Stormwater Report, the Illicit Discharge Compliance Statement must be submitted prior to the discharge of stormwater runoff to the post-construction best management practices.

² For some complex projects, it may not be possible to include the Construction Period Erosion and Sedimentation Control Plan in the Stormwater Report. In that event, the issuing authority has the discretion to issue an Order of Conditions that approves the project and includes a condition requiring the proponent to submit the Construction Period Erosion and Sedimentation Control Plan before commencing any land disturbance activity on the site.



Checklist for Stormwater Report

B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

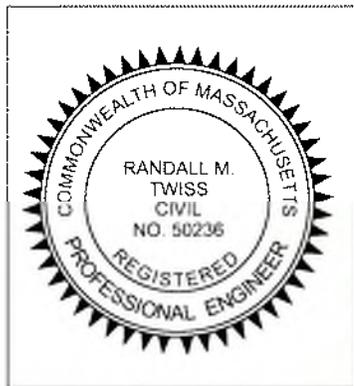
Note: Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature



Randall Twiss 2/4/2025

Signature and Date

Checklist

Project Type: Is the application for new development, redevelopment, or a mix of new and redevelopment?

- New development
- Redevelopment
- Mix of New Development and Redevelopment



Checklist for Stormwater Report

Checklist (continued)

LID Measures: Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

- No disturbance to any Wetland Resource Areas
- Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- Reduced Impervious Area (Redevelopment Only)
- Minimizing disturbance to existing trees and shrubs
- LID Site Design Credit Requested:
 - Credit 1
 - Credit 2
 - Credit 3
- Use of "country drainage" versus curb and gutter conveyance and pipe
- Bioretention Cells (includes Rain Gardens)
- Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- Treebox Filter
- Water Quality Swale
- Grass Channel
- Green Roof
- Other (describe):

Standard 1: No New Untreated Discharges

- No new untreated discharges
- Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.



Checklist for Stormwater Report

Checklist (continued)

N/A - The Project does not include an increase in impervious cover and there will be no increase in post-development peak discharge rates.

Standard 2: Peak Rate Attenuation

- Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.
- Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.
- Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

Standard 3: Recharge

N/A - The Project will not result in an increase in impervious cover

- Soil Analysis provided.
- Required Recharge Volume calculation provided.
- Required Recharge volume reduced through use of the LID site Design Credits.
- Sizing the infiltration, BMPs is based on the following method: Check the method used.
 - Static
 - Simple Dynamic
 - Dynamic Field¹
- Runoff from all impervious areas at the site discharging to the infiltration BMP.
- Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:
 - Site is comprised solely of C and D soils and/or bedrock at the land surface
 - M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
 - Solid Waste Landfill pursuant to 310 CMR 19.000
 - Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable.
- Calculations showing that the infiltration BMPs will drain in 72 hours are provided.
- Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

¹ 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.



Checklist for Stormwater Report

Checklist (continued)

Standard 3: Recharge (continued)

- The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.
- Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

Standard 4: Water Quality **N/A - The Project will not result in an increase in impervious cover. No additional treatment is proposed.**

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
 - Provisions for storing materials and waste products inside or under cover;
 - Vehicle washing controls;
 - Requirements for routine inspections and maintenance of stormwater BMPs;
 - Spill prevention and response plans;
 - Provisions for maintenance of lawns, gardens, and other landscaped areas;
 - Requirements for storage and use of fertilizers, herbicides, and pesticides;
 - Pet waste management provisions;
 - Provisions for operation and management of septic systems;
 - Provisions for solid waste management;
 - Snow disposal and plowing plans relative to Wetland Resource Areas;
 - Winter Road Salt and/or Sand Use and Storage restrictions;
 - Street sweeping schedules;
 - Provisions for prevention of illicit discharges to the stormwater management system;
 - Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
 - Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
 - List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.
- A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.
 - Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:
 - is within the Zone II or Interim Wellhead Protection Area
 - is near or to other critical areas
 - is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
 - involves runoff from land uses with higher potential pollutant loads.
 - The Required Water Quality Volume is reduced through use of the LID site Design Credits.
 - Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.



Checklist for Stormwater Report

Checklist (continued)

Standard 4: Water Quality (continued)

- The BMP is sized (and calculations provided) based on:
 - The ½" or 1" Water Quality Volume or
 - The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.
- The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the propriety BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.
- A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

N/A - Not applicable. None of the land uses within the Site have higher potential pollutant loads.

Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

- The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.
- The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted **prior** to the discharge of stormwater to the post-construction stormwater BMPs.
- The NPDES Multi-Sector General Permit does **not** cover the land use.
- LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.
- All exposure has been eliminated.
- All exposure has **not** been eliminated and all BMPs selected are on MassDEP LUHPPL list.
- The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

N/A - A portion of the Project is located within a Zone II Wellhead Protection Area associated with the Ipswich Department of Public Utilities Water Department. However, the Project does not include any stormwater discharges.

Standard 6: Critical Areas

- The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.
- Critical areas and BMPs are identified in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable

- The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:
- Limited Project
 - Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
 - Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
 - Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
 - Bike Path and/or Foot Path
 - Redevelopment Project
 - Redevelopment portion of mix of new and redevelopment.
- Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.
- The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

Attached and illustrated on drawings

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
 - Construction Period Operation and Maintenance Plan;
 - Names of Persons or Entity Responsible for Plan Compliance;
 - Construction Period Pollution Prevention Measures;
 - Erosion and Sedimentation Control Plan Drawings;
 - Detail drawings and specifications for erosion control BMPs, including sizing calculations;
 - Vegetation Planning;
 - Site Development Plan;
 - Construction Sequencing Plan;
 - Sequencing of Erosion and Sedimentation Controls;
 - Operation and Maintenance of Erosion and Sedimentation Controls;
 - Inspection Schedule;
 - Maintenance Schedule;
 - Inspection and Maintenance Log Form.
- A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

- The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has **not** been included in the Stormwater Report but will be submitted **before** land disturbance begins.
- The project is **not** covered by a NPDES Construction General Permit.
- The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.
- The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted BEFORE land disturbance begins.

Standard 9: Operation and Maintenance Plan **DCR has a general O&M plan this type of work and can be submitted upon request**

- The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:
 - Name of the stormwater management system owners;
 - Party responsible for operation and maintenance;
 - Schedule for implementation of routine and non-routine maintenance tasks;
 - Plan showing the location of all stormwater BMPs maintenance access areas;
 - Description and delineation of public safety features;
 - Estimated operation and maintenance budget; and
 - Operation and Maintenance Log Form.
- The responsible party is **not** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:
 - A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
 - A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

Standard 10: Prohibition of Illicit Discharges **N/A - No proposed work or subsequent maintenance will include illicit connections to the existing stormwater system.**

- The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;
- An Illicit Discharge Compliance Statement is attached;
- NO Illicit Discharge Compliance Statement is attached but will be submitted **prior to** the discharge of any stormwater to post-construction BMPs.

Appendix D – Photographic Log

Client Name:
Massachusetts Department of
Conservation and Recreation

Site Location: Bradley Palmer State Park,
Topsfield/Hamilton, Massachusetts

Project No. 60724762

Photo No.
1

Date:
5/23/23

View looking west of
typical condition of
pavement along Bradley
Palmer State Park Road.
Existing wading pool is
visible on the right.



Photo No.
2

Date:
5/22/23

View looking west from
entrance to Bradley
Palmer State Park.



Client Name:
Massachusetts Department of
Conservation and Recreation

Site Location: Bradley Palmer State Park,
Topsfield/Hamilton, Massachusetts

Project No. 60724762

Photo No.

3

Date:

5/22/23

View looking west of
Bradley Palmer State
Park Road with
approximate location of
collapsed culvert shown
in red.



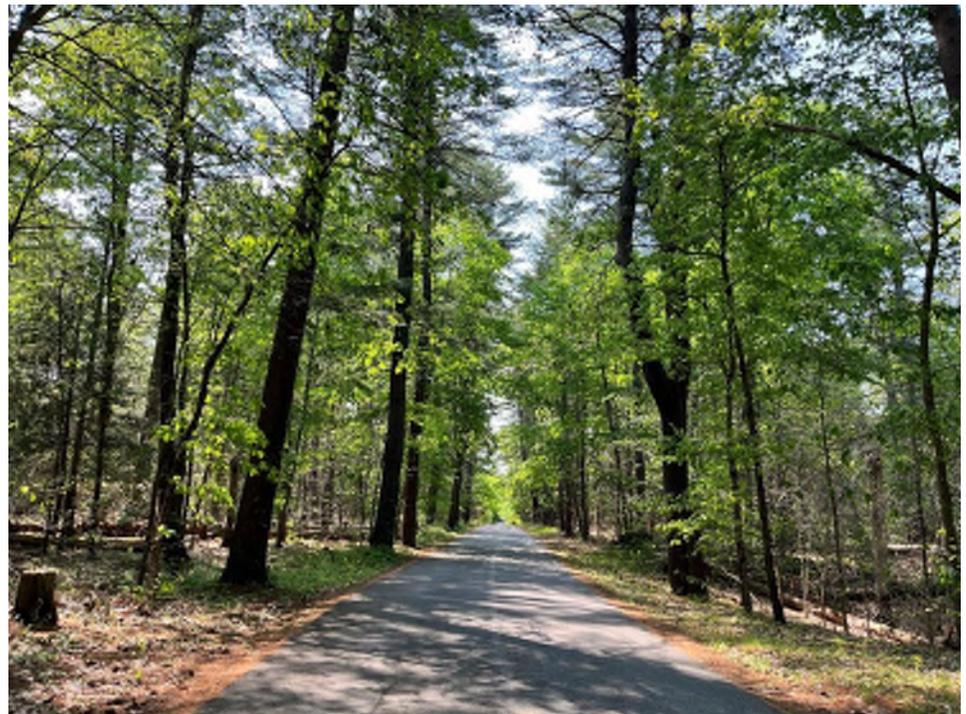
Photo No.

4

Date:

5/22/23

Area of Bradley Palmer
State Park Road to be
resurfaced with adjacent
uplands on either side of
the roadway.



Appendix E – Abutter Information

**TOWN OF HAMILTON
Conservation Commission
CERTIFICATE OF PARTIES IN INTEREST**

Pursuant to Massachusetts General Laws, Chapter 40A, Section 11, the undersigned Assessor of the Town of Hamilton, hereby certifies that the names and addresses appearing on the list appended hereto are those of the:

- (a) abutters 100'
- (b) owners of land directly opposite on any public or private street or way
- X (c) owners of land within 300' of the property line of the property at:

Bradley Palmer State Park - Hamilton

So. Hamilton

Dated **February 19, 2025**

Prepared by Assessor's Office of the Town of Hamilton.

Jane Dooley

Assistant Assessor



300 feet Abutters List Report

Hamilton, MA
February 19, 2025

Subject Property:

Parcel Number: 20-0001
CAMA Number: 20-000-0001
Property Address: 550 HIGHLAND ST

Mailing Address: MASS COMMONWEALTH OF BRADLEY
PALMER STATE PARK
24 ASBURY ST
TOPSFIELD, MA 01983

Abutters:

Parcel Number: 02-0001
CAMA Number: 02-000-0001
Property Address: 0 WINTHROP ST

Mailing Address: ESSEX COUNTY GREENBELT ASSOC
C/O BECKER EDWARD
82 EASTERN AV
ESSEX, MA 01929

Parcel Number: 02-0004
CAMA Number: 02-000-0004
Property Address: 0 WINTHROP ST

Mailing Address: COLLOREDO-MANSFELD FRANZ F.
47 WINTHROP ST
HAMILTON, MA 01982

Parcel Number: 06-0001
CAMA Number: 06-000-0001
Property Address: 46 WINTHROP ST

Mailing Address: COLLOREDO-MANSFELD ANNE D & RU
46 WINTHROP ST
SOUTH HAMILTON, MA 01982

Parcel Number: 06-0002
CAMA Number: 06-000-0002
Property Address: 45 WINTHROP ST

Mailing Address: COLLOREDO-MANSFELD RUDOLPH JOS
COLLOREDO-MANSFELD FRANCESCA
122 PORTER PLACE
CHAPEL HILL, NC 27514

Parcel Number: 06-0003
CAMA Number: 06-000-0003
Property Address: 47 WINTHROP ST

Mailing Address: COLLOREDO-MANSFELD FRANZ-ANNE
47 WINTHROP ST
SOUTH HAMILTON, MA 01982

Parcel Number: 06-0005
CAMA Number: 06-000-0005
Property Address: 0 WINTHROP ST

Mailing Address: COLLOREDO-MANSFELD FRANZ F & A
47 WINTHROP ST
SOUTH HAMILTON, MA 01982

Parcel Number: 06-0006
CAMA Number: 06-000-0006
Property Address: 0 WINTHROP ST

Mailing Address: COLLOREDO-MANSFELD FRANZ FERD
47 WINTHROP ST
SOUTH HAMILTON, MA 01982

Parcel Number: 12-0001
CAMA Number: 12-000-0001
Property Address: 0 WINTHROP ST

Mailing Address: COLLOREDO-MANSFELD ANNE D & RU
46 WINTHROP ST
SOUTH HAMILTON, MA 01982

Parcel Number: 13-0001
CAMA Number: 13-000-0001
Property Address: 572 HIGHLAND ST

Mailing Address: LAMENDOLA JOEL GRIESHABER
KIRSTEN
572 HIGHLAND ST
SOUTH HAMILTON, MA 01982

Parcel Number: 13-0004
CAMA Number: 13-000-0004
Property Address: 0 HIGHLAND ST

Mailing Address: PINGREE SCHOOL
537 HIGHLAND ST
SOUTH HAMILTON, MA 01982



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2/19/2025

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Page 1 of 3



300 feet Abutters List Report

Hamilton, MA
February 19, 2025

Parcel Number: 13-0005
CAMA Number: 13-000-0005
Property Address: 537 HIGHLAND ST

Mailing Address: PINGREE SCHOOL
537 HIGHLAND ST
SOUTH HAMILTON, MA 01982

Parcel Number: 13-0006
CAMA Number: 13-000-0006
Property Address: 571 HIGHLAND ST

Mailing Address: PINGREE SCHOOL INC
571 HIGHLAND ST
SOUTH HAMILTON, MA 01982

Parcel Number: 13-0007
CAMA Number: 13-000-0007
Property Address: 551 HIGHLAND ST

Mailing Address: PINGREE SCHOOL INC
537 HIGHLAND ST
SOUTH HAMILTON, MA 01982

Parcel Number: 13-0011
CAMA Number: 13-000-0011
Property Address: 0 HIGHLAND ST

Mailing Address: COLLOREDO-MANSFELD FRANZ F TR
WINTHROP ST TRUST
45 WINTHROP ST
SOUTH HAMILTON, MA 01982

Parcel Number: 13-0012
CAMA Number: 13-000-0012
Property Address: 0 WINTHROP ST

Mailing Address: COLLOREDO-MANSFELD S L ETAL TRS
S LAWRENCE NOMINEE TR
45 WINTHROP ST
SOUTH HAMILTON, MA 01982

Parcel Number: 13-0013
CAMA Number: 13-000-0013
Property Address: 0 WINTHROP ST

Mailing Address: COLLOREDO-MANSFELD ANNE D
RUDOLF J
WINTHROP ST
SOUTH HAMILTON, MA 01982

Parcel Number: 13-0016
CAMA Number: 13-000-0016
Property Address: 595 HIGHLAND ST

Mailing Address: GARZOLI JEREMY CAITLIN C
595 HIGHLAND ST
SOUTH HAMILTON, MA 01982

Parcel Number: 19-0002
CAMA Number: 19-000-0002
Property Address: 649 ASBURY ST

Mailing Address: ESSEX COUNTY GREENBELT ASSOC
82 EASTERN AVE
ESSEX, MA 01929

Parcel Number: 20-0002
CAMA Number: 20-000-0002
Property Address: 477 HIGHLAND ST

Mailing Address: PINGREE SCHOOL INC
477 HIGHLAND ST
SOUTH HAMILTON, MA 01982

Parcel Number: 20-0004
CAMA Number: 20-000-0004
Property Address: 468 HIGHLAND ST

Mailing Address: STEGGALL JAMES H MARY B
468 HIGHLAND ST
SOUTH HAMILTON, MA 01982

Parcel Number: 20-0005
CAMA Number: 20-000-0005
Property Address: 466 HIGHLAND ST

Mailing Address: BRITTON PETER P BEATRICE T
PO BOX 2327
S HAMILTON, MA 01982

Parcel Number: 20-0006
CAMA Number: 20-000-0006
Property Address: 497 HIGHLAND ST

Mailing Address: KHRISTITCH ERIN K MCCOLLOM
MATTHEW M
497 HIGHLAND ST
SOUTH HAMILTON, MA 01982



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300 feet Abutters List Report

Hamilton, MA
February 19, 2025

Parcel Number: 20-0007
CAMA Number: 20-000-0007
Property Address: 517 HIGHLAND ST

Mailing Address: SWEENEY EDWARD J SWEENEY
HADLEY L
517 HIGHLAND ST
SOUTH HAMILTON, MA 01982

Parcel Number: 20-0008
CAMA Number: 20-000-0008
Property Address: 441 HIGHLAND ST

Mailing Address: ODDO STEPHEN CAREY ALECIA
441 HIGHLAND ST
SOUTH HAMILTON, MA 01982

Parcel Number: 20-011B
CAMA Number: 20-000-0011
Property Address: 466 HIGHLAND ST

Mailing Address: BRITTON FAMILY LLC BRITTON PETER
& BEATRICE
PO BOX 2327
S HAMILTON, MA 01982

Parcel Number: 20-0012
CAMA Number: 20-000-0012
Property Address: 466 HIGHLAND ST

Mailing Address: BRITTON FAMILY LLC BRITTON PETER
& BEATRICE
PO BOX 2327
S HAMILTON, MA 01982

Parcel Number: 21-0001
CAMA Number: 21-000-0001
Property Address: 537 HIGHLAND ST

Mailing Address: PINGREE SCHOOL
HIGHLAND ST
SOUTH HAMILTON, MA 01982



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Notification to Abutters

By Hand Delivery, Certified Mail (return receipt requested), or Certificates of Mailing

This is a notification required by law. You are receiving this notification because you have been identified as the owner of land abutting another parcel of land for which certain activities are proposed. Those activities require a permit under the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40).

In accordance with the second paragraph of the Massachusetts Wetlands Protection Act, and 310 CMR 10.05(4)(a) of the Wetlands Regulations, you are hereby notified that:

- A. A Notice of Intent was filed with the Hamilton Conservation Commission on February 28, 2025 seeking permission to remove, fill, dredge, or alter an area subject to protection under M.G.L. c. 131 §40. The following is a description of the proposed activity/activities:

DCR is proposing to resurface Bradley Palmer State Park Road between the Topsfield Town Line and Highland Street. Also included in the scope of the Project is the replacement of a collapsed 24" culvert with a 24" high-density polyethylene (HDPE) pipe.

- B. The name of the applicant is: Massachusetts Department of Conservation & Recreation.
- C. The address of the land where the activity is proposed is: 540 Highland Street, Hamilton, MA, Map 12, Parcel 20-1.
- D. Copies of the Notice of Intent may be examined or obtained at the office of the Hamilton Conservation Commission, located at 650 Asbury Street, Hamilton, MA. The regular business hours of the Commission are Monday through Thursday, 8am to 12:30pm, and the Commission may be reached at 978-626-5251.
- E. Copies of the Notice of Intent may be obtained from the applicant or their representative by calling Jessica Marino from AECOM at 203-536-1833. An administrative fee may be applied for providing copies of the NOI and plans.
- F. Information regarding the date, time, and location of the public hearing regarding the Notice of Intent may be obtained from the Topsfield Conservation Commission. Notice of the public hearing will be published at least five business days in advance, in the Hamilton-Wenham Chronicle.

Notification provided pursuant to the above requirement does not automatically confer standing to the recipient to request Departmental Action for the underlying matter. See 310 CMR 10.05(7)(a)4.